

Liberty, LLC

2023

Wildflower Rural Reserve PUD Preliminary Plat Application Supplement



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Management and Engineering



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3/7/2023

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Wildflower Rural Reserve PUD

Application for Preliminary Plat Supplementary Information

INTRODUCTION

Wildflower is a proposed residential subdivision located on the east side of Hwy. 33 and north of W 2000 South approximately one mile south of the City of Driggs in Teton County, Idaho. The existing property consists of two parcels that together total 64.36 acres. The proposed development consists of 26 residential lots and an open space lot that consumes 50% of the land area per the requirements of a Rural Reserve PUD. The residential lots have a minimum lot size of 1.25 acres and a maximum size of 1.92 acres with the average residential lot size calculated as 1.29 acres. There are similar developments immediately to the south and southeast across E 2000 South as well as within one mile to the northeast. In addition, the property immediately east of the proposed development is slated for development of residential lots. The property was zoned as A/RR-2.5 under the 2012 zoning ordinances which are the applicable regulations for development of this property. The provisions of the A / RR-2.5 zone allow for the development of 25 residential lots. Per the Rural Residential PUD provisions, the lot count may be increased by 20%, which in this case would be 5 additional lots, the lots size may be reduced, and the lots clustered on the property; in exchange for allocating 50% of the land area as dedicated open space.

PROJECT COMPONENTS

Access & Circulation

The development will be accessed via E 2000 South on the south side of the property with secondary access through the development proposed on the east side of Wildflower. Lots within the subdivision will be served by a new road internal to the development providing access to each lot. All roads within the subdivision will be constructed to Teton County standards for road construction for local roads with the anticipation that roads will be dedicated to the County.

Setbacks & Building Envelopes

In all cases, building setbacks will comply with the minimum setbacks required by Teton County. Building envelopes, which often exceed the minimum setback requirements, are being contemplated in the subdivision covenants, conditions, and restrictions (CCR) which may further limit the location of future buildings for the purpose of preserving views for each lot.

Open Space and Density

There is no requirement for open space in the A/RR-2.5 zoning district. However, the Rural Reserve PUD provisions of the 2012 Land Development Code require that 50% of the land area be set aside as dedicated open space. Wildflower complies with this requirement with 32.18 acres of land adjacent to Hwy. 33, land that includes the Scenic Corridor Overlay Zone, designated as open space.

Domestic Water

Domestic water will be provided by individual wells on each lot. Installation, maintenance, and permitting of domestic wells will be the responsibility of individual lot owners.

Wastewater

Wastewater treatment will be provided by individual subsurface wastewater disposal systems, one for each buildable lot.

Stormwater

During initial construction appropriate erosion control measures and best practices will be used to minimize erosion and pollution. The proposed development maintains the natural drainage patterns of the site to the maximum extent practicable. A Stormwater Management Plan for the roadway has been prepared and is incorporated into the Grading & Drainage Plan included in the engineering improvement drawings. With 50% of the ground set aside as open space, there is ample area for retention of stormwater. Individual lot owners will be responsible for grading and drainage on their own lots including stormwater retention.

Fire Protection

The proposed fire suppression system consists of a fire pond with dry hydrant along with participating through a cooperative agreement with the system for Trestles, the subdivision slated for development immediately east of Wildflower. The fire suppression system approved by the Teton County Fire Marshal for the Trestles development is a fire pond with dry hydrant and two pressurized fire hydrants meeting the requirements of the Teton County Fire District.

Overlay Zones

The property features a single overlay zone, the Scenic Corridor for Hwy 33 which is defined as land within 330 feet of the highway. Under the 2012 Land Development Code, the site does not feature any natural resource overlays such as a big game migration corridor. No critical habitat areas are known or mapped on the subject site. There is no surface water on the site. It is not within the Airport Overlay.

Geophysical Hazards

- There are no FEMA Special Flood Hazard Areas (SFHA) mapped on the site.
- There is no surface water on the site.
- The site is mapped as “Class 1: Low Liquefaction Susceptibility”, the lowest risk of three categories relating to earthquake hazard.

SECTION I: PERSONAL AND PROPERTY RELATED DATA

Parcel Number: RP04N45E027950 & RP04N45E028402

Acres: 64.36 acres

Legal Description: SE ¼, SEC 2 T6N R45E

County Zoning: A/RR-2.5 Agriculture / Rural Residential, 2.5-acre min. lot size

Approved Subdivision Name: Wildflower

Approved Road Name: Monkshood Trail

Access Roads: W 2000 South

Zoning Overlays:

Resource Overlays: None **Floodzone:** No **Airport Overlay:** No **Hazard Area:** No

Migratory Area: No **Adjacent to Public Lands:** No **FEMA Zones:** None

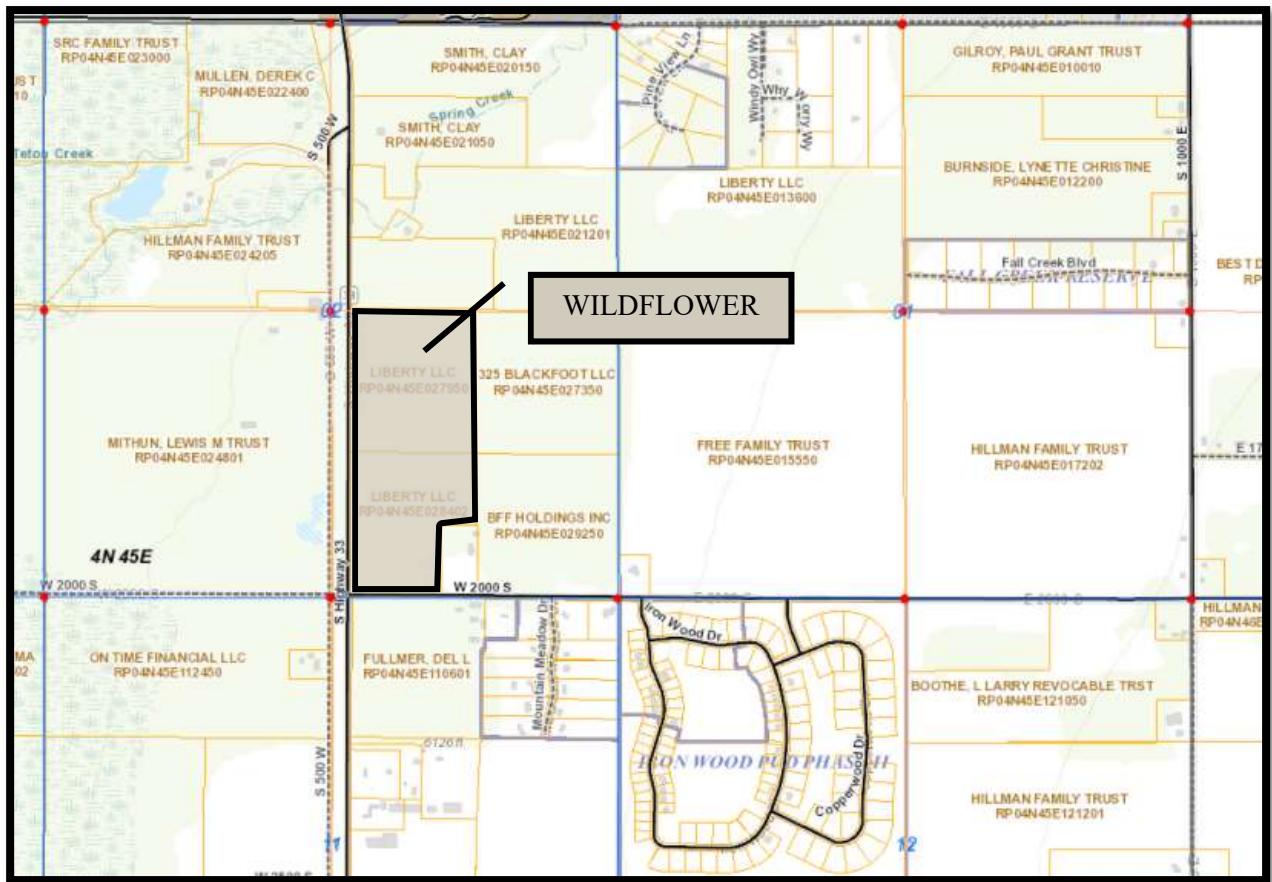


Figure 1: Vicinity Map for Wildflower.

Latest recorded deed to the property

See appendix.

10% of total base fee (see current fee schedule)

Fees enclosed.

Minimum retainer for Nutrient Pathogen evaluation review, as applicable.

District 7 of the Eastern Idaho Public Health (EIPH) indicated a Nutrient Pathogen Study is not necessary. This requirement was addressed at the Concept submittal and review. A Nutrient Pathogen Study was performed in conjunction with the Trestles Subdivision.

Affidavit of Legal Interest

The deed establishes the legal interest. See Appendix.

Concept Plan approved

The Concept Plan was approved by Teton County Planning & Zoning staff on March 8, 2022

SECTION II – CHECKLIST OF ITEMS REQUIRED ON THE PLAN/PLAT DOCUMENT

1. Number of Plans/Plats

- a. Two (2) Preliminary Plats (18” x 27” or 11” x 17”) prepared by a professional land surveyor/engineer**

Badger Aerial Mapping and Surveying, a professional land surveyor in the State of Idaho, prepared a survey Preliminary Plat.

- b. Two (2) Master Plans (18” x 27” or 11” x 17”) prepared by a professional land surveyor/engineer**

Civilize, PLLC, a professional engineer licensed in the State of Idaho, prepared engineering improvement drawings including a master plan drawing.

2. Items on Plan/Plat

- a. Plans and plats are labeled in lower right-hand corner**

Provided as required.

- b. Section(s), Township, Range**

Provided as required.

- c. Accurate angular and lineal dimensions for all lines, angles and curves used to describe boundaries, streets, alleys, and easements areas to be dedicated for public use, and other important features are shown.**

Provided as required.

- d. Identification for all lots and blocks and road names are clearly shown. Lot lines show dimensions in feet and hundreds.**

Blocks and lots depicted along with road names and dimensions in feet and hundredths.

- e. Perimeter subdivision lines are accurately related by distance and bearings to established roads or street lines, or 1/16 section corners, and closures are a minimum if one (1) foot in 5000 feet.**

Perimeter subdivision lines related by distance and bearings to established roads or street lines, or by section corners.

- f. True angles and distances to the nearest established street lines or official monuments are accurately described in the plat and shown by appropriate symbol.**

True angles and distances are accurately described.

- g. Radii, internal angles, points and curvatures, tangents, tangent bearings, chord, chord bearings and the lengths of all arcs are shown.**

Radii, internal angles, points and curvatures, tangents, tangent bearings, chord, chord bearings and the lengths of all arcs are shown.

- h. Accurate location of all monuments and fire protection to be installed, shown by appropriate symbol, and all of the U.S., State, County, or other official benchmarks, monuments, or triangulation stations in or adjacent to the property.**

Accurate location of all monuments and fire protection to be installed, shown by appropriate symbol along with U.S., State, County, or other official benchmarks, monuments, or triangulation stations in or adjacent to the property.

- i. Each lot corner is monumented or witnessed with permanent marker, in accordance with the rules and regulations of the State Board of Registration for professional engineers and land surveyors, and the markers are shown either by legend or separate description on the plat.**

Each lot corner will be monumented upon recordation of the Final Plat in accordance with Idaho Statute.

- j. Accurate boundaries and legal descriptions are given of any easement or area to be dedicated for public use, with the purpose indicated thereon, and of any area to be reserved by deed or covenant for the common use of all property owners or the general public.**

Accurate boundaries and legal descriptions are given for easements and areas to be dedicated for public use, with the purpose indicated thereon.

- k. Vicinity map with any existing subdivisions within 1 mile and all existing road names**

Vicinity map provided along with existing subdivisions and existing road names.

- l. Names of adjoining developments and ownership of surrounding land**

Names of adjoining developments and property ownership provided.

- m. North arrow**

North arrow provided.

n. Contours

Contours provided.

o. Section and incorporation lines in and within 200 feet

Section and incorporation lines provided in and within 200 feet.

p. Boundaries and identification of zoning districts

Zoning districts and boundaries identified.

q. Building envelopes

Building envelopes are defined with setback requirements established by the jurisdiction.

r. Setback requirements

Setbacks from the jurisdiction are depicted.

s. Road names

Road names are provided.

t. Accurate scale

An accurate scale is provided presuming the drawing is printed at the correct scale.

3. Utilities

a. Statement in bold letters of proposed water, wastewater, and maintenance services

Note indicated lots will be served by individual wells and septic systems are provided on the plat.

b. Location, width, and information of utility right(s)-of-way and easement(s) (telephone, power, water, sewer irrigation)

Location and width of utility right(s)-of-way and easement(s) for utilities shown.

c. Location and approximate depth of active and abandoned wells and all reservoirs in and within 100 feet

A well is located on the property.

d. Location and sizes of sewers, water mains, culverts, underground facilities in and within 100 feet

A pressure sewer line owned by the City of Driggs is located in W 2000 South. No water mains are within the vicinity of the property.

4. Improvement standards:

a. Curbs and gutter, if any

No curb & gutter proposed.

b. Trails and pathways - Title 9 Section C-2

The project does include internal trails.

c. Public utilities

The subdivision does not use public utilities for water and sewer.

d. Water supply and sewage disposal

Water supply is by individual well for each lot as a domestic exemption.

Sewage disposal is proposed via individual subsurface wastewater dispersal system.

e. Maintenance and operation of public water and sewer, if any

There is no public water or sewer proposed.

f. Fire protection (pond, well, hydrants. etc.)

Fire suppression is required. The development proposes a fire pond equipped with a dry hydrant and corporation with the Trestles Subdivision for additional fire suppression per the requirements of the Teton County Fire District.

g. Street lighting, if any

No street lighting proposed.

h. Public land access

No public land adjoins the property; therefore, this provision is not applicable.

SECTION III: CHECKLIST OF ITEMS REQUIRED IN DEVELOPMENT AGREEMENT AND PROTECTIVE COVENANTS

1. Development Agreement

A copy of a draft development agreement prepared using the template provided by Teton County is found in the appendix. All dates and terms will need updated following approval of the Final Plat.

- Estimated date the subdivision will be completed..... Estimated
- The date actual construction will begin..... Estimated
- The date public improvements will be completed and can be inspected..... Estimated
- Inspection of public improvements under construction Included
- Control during development..... Included
- The developer shall control dust while installing infrastructure Included
- A registered professional engineer’s stamped estimate of costs for all improvements Included
- Any other conditions agreed to..... Included
- Irrevocable bank Letter of Credit (Letter of Intent from financial institution)..... Statement
- Reduction and release of guarantee Included
- Guarantee of completion of improvements Included
- Penalty in case of failure to complete construction of a public improvement..... Included
- Lots shall not be sold and recorded until final plat recording Included
- No building permits may be issued until the fire protection, including roads, are operational.. Included
- No Certificates of Occupancy will be issued until public improvements are complete Included
- The developer shall provide a stamped letter from the engineer stating the roads have been built in accordance with the submitted road plans and are up to county standards Included
- Subdivision entrance sign and street signs Included

2. Protective Covenants (CC & Rs)

A copy of the draft Covenants Conditions & Restrictions is found in the appendix.

- Homeowners Association..... Included
- Right to Farm provision Included
- County setbacks and height restrictions Included
- Architectural style and building design..... Included
- Maintenance of landscaping..... Included
- Screening..... Not Included
- Garbage areas Included
- Private road..... On Plat
- Storage areas..... Included
- Maintenance building Included
- No further divisions of lots..... Not Included
- Low wattage lighting downward directed Included
- Weed control Included
- Sanitary rules/regulations Included
- Mention that the following items cannot be changed by the HOA: Included

- Weed maintenance and control
- Teton County dark skies requirements
- No further lot split statement
- County setback and heights
- Right to Farm Act
- The EIPHD has authority over the HOA

3. In case of a PUD

Open Space use type

The open space is planned as agricultural.

Deeding or dedication of Open Space.

The open space will be owned by the property owner.

Open Space Management Plan

Management of agricultural land

The management of the agricultural land will be through a lease arrangement by the property owner.

Management of recreation facilities

The recreational facilities will be managed by the HOA.

Management of existing and created natural lands

No natural lands are planned for this development.

SECTION IV: DESIGN AND IMPROVEMENT STANDARDS

1. Design standards:

a. Dedication of street public- private

Monkshood Trail is proposed as a private street unless the County is willing to accept it, which to date has not been the practice for the County.

b. Street and road locations

Street and road locations are shown on the engineering improvement drawings.

c. Intersections

Intersections are shown on the engineering improvement drawings.

d. Easements and rights-of-way and dedicated entity

Easements and rights-of-way are depicted on the preliminary plat as well as the engineering improvement drawings.

e. Irrigation easements - Title 8 Section 8-4-4

There are no irrigation easements on the property.

f. Blocks are clearly defined on the master plat

There is a single block.

g. Lots

Lots numbers and sizes are shown on the master plan.

h. Planting strips and reserve strips

There are no planting strips or reserve strips proposed or required for the project.

i. Landscaping Plan - Title 9 Section C-3-A

A landscaping plan is applicable to each individual lot.

j. Access to public roads/buildings

Access to public roads is onto W 2000 South.

2. Maps/Studies/Plans:

a. Map access routes to public lands/waterways - Title 9 Section C-2-a

No public land or waterways pass through or are adjacent to the any portion of the land.

b. Overlay Areas mapped - Title 9 Section C-2-b

Airport Vicinity Overlay (Title 8)

The project is not within the Airport Vicinity Overlay.

Floodplain Overlay (Title 8)

The project is not within the Floodplain Overlay

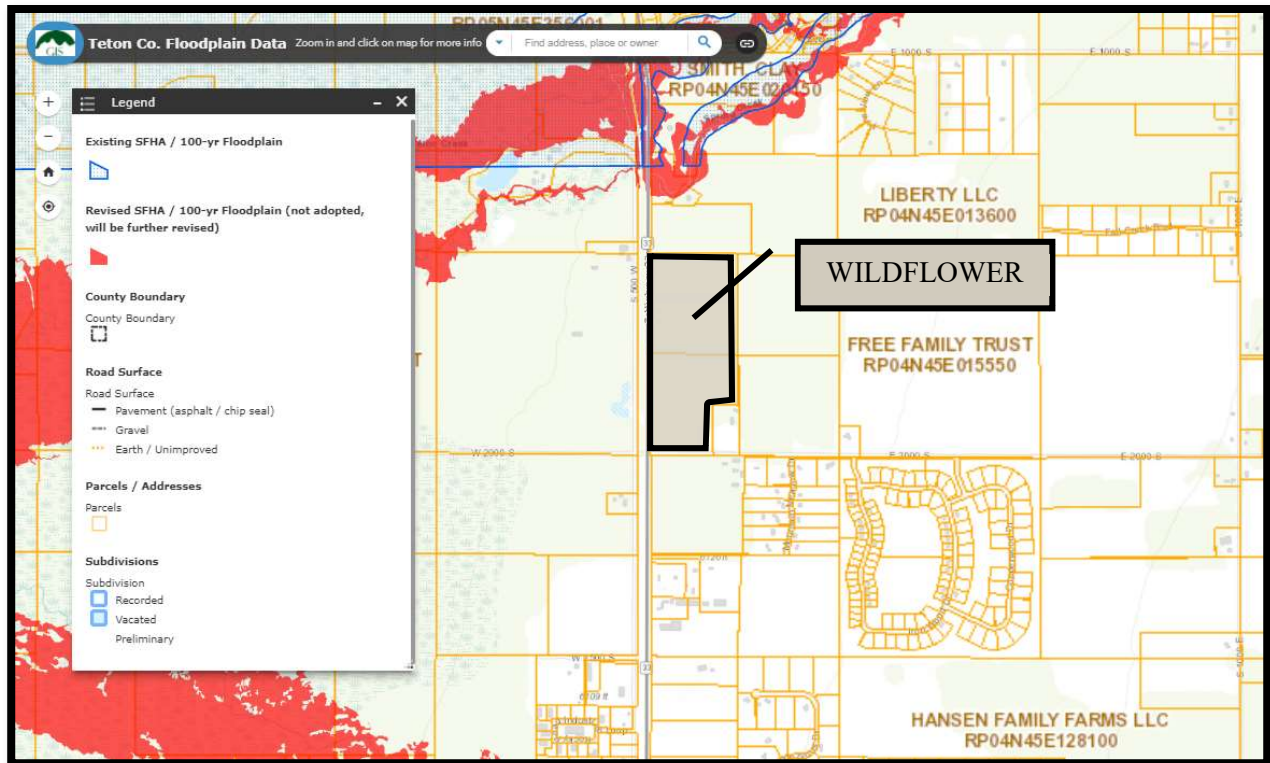


Figure 2: Flood Hazard Mapping from Teton County GIS System (2023).

Hillside Overlay (Title 8 and Title 9)

The ground slope on the property ranges from less than 10% up to 30% in the northwest corner. Most of the property is less than 20% slope and not subject to the Hillside Overlay Zone and each lot has sufficient property less than 20% suitable for construction of a home.

Scenic Corridor Overlay (Title 8)

The 330 feet adjacent to Hwy 33 is within the Scenic Corridor Overlay. That area is included in the open space.

Wildlife Habitat Overlay (Title 8 and Title 9)

Big Game Migration Corridor

The Big Game Migration Corridor is mapped on the Master Plan.



Figure 3: Wetland, Migration Path, and Feeding or Breeding Area Mapping from Teton County GIS (2023).

Wetlands and Waterways Overlay

The project is not in the Wetlands and Waterways Overlay.

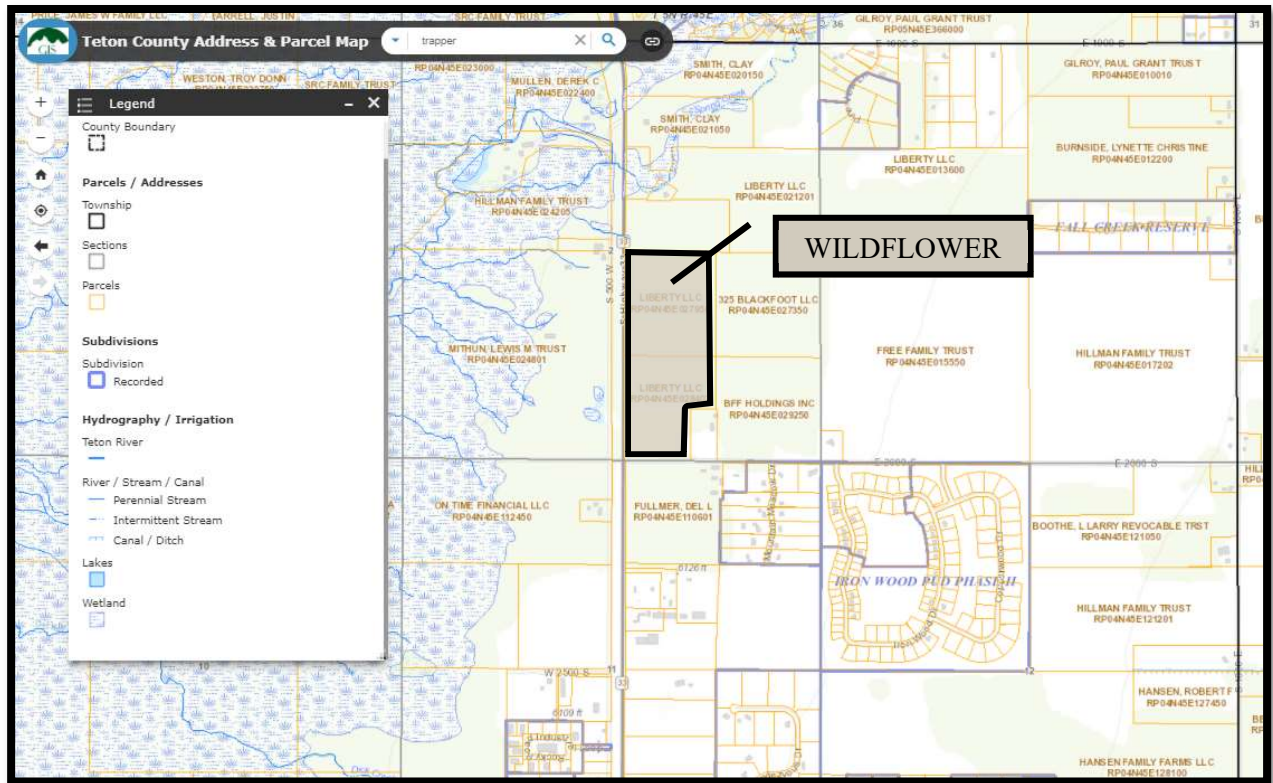


Figure 4: Wetlands and Waterways per the Teton County GIS Mapping System (2023).

Wetlands Determination, as required - Title 8 Section 8-5-2

None of the proposed development lies within a wetland.

c. Scenic Corridor, as required - Title 8 Section 8-5-2

The 330 feet adjacent to Hwy 33 is within the Scenic Corridor Overlay. That area is included in the open space.

d. Nutrient-Pathogen Study, as required - Title 9 Section C-3-B

District 7 of the Eastern Idaho Public Health evaluated the soils for five exploration pits and determined the soils were suitable for subsurface wastewater dispersal systems and did not indicate any requirement for a Nutrient-Pathogen study.

A Nutrient-Pathogen Study, including the Wildflower subdivision, was completed. See the appendices.

e. Flood Hazard areas, as required - Title 8 Section 8-5-2

None of the property lies within a floodplain according to the Floodplain Overlay map.

f. Geographical Hazards, if any

No extraordinary geographic hazards are known to be associated with the property. There are no FEMA Special Flood Hazard Areas (SFHA) mapped on the site. There is no surface water on the site. The site is mapped as “Class 1: Low Liquefaction Susceptibility”, the lowest risk of three categories relating to earthquake hazard.

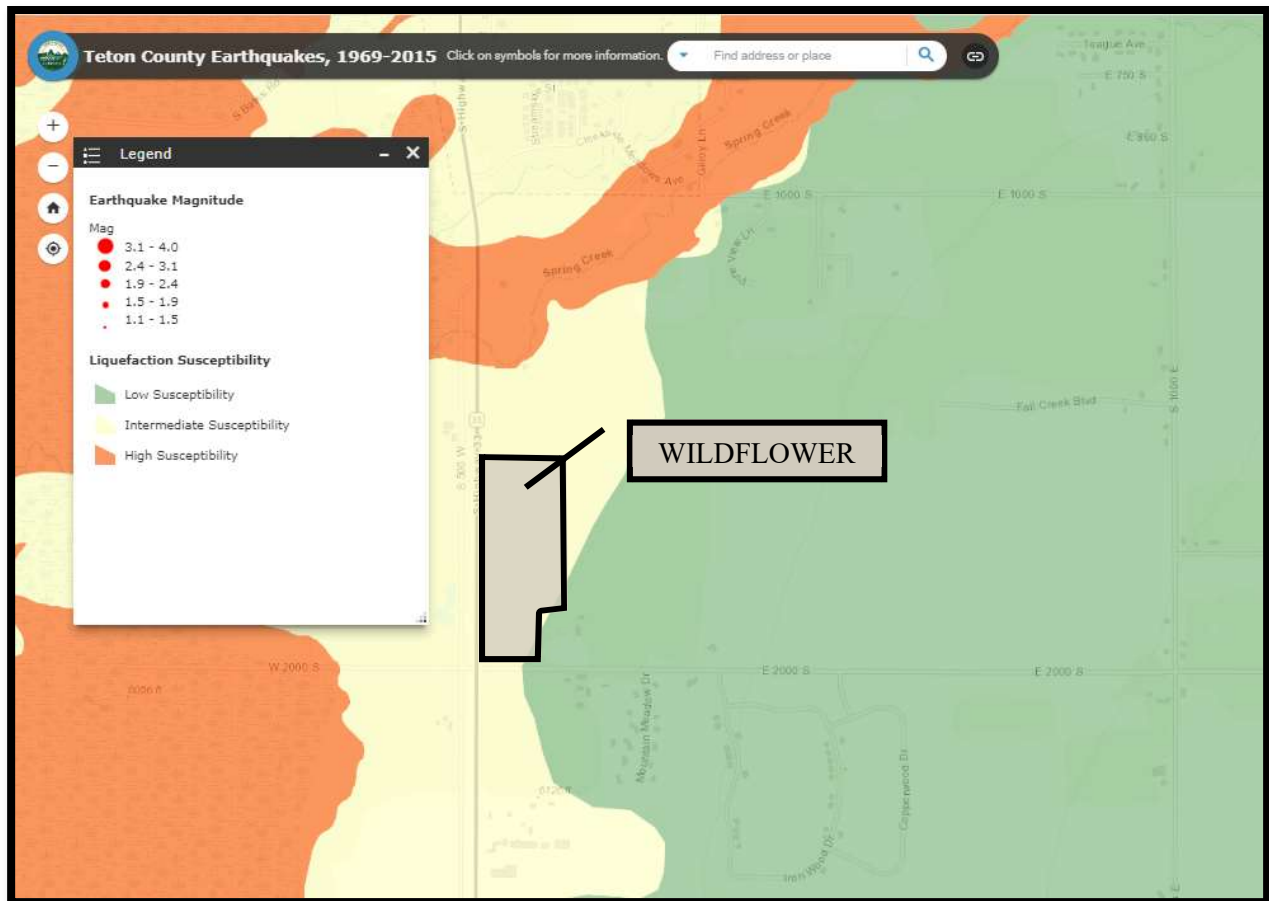


Figure 5: Seismic Susceptibility per Teton County GIS (2023)

Sight Line Analysis - Title 9 Section 4-B

The project is located adjacent to Hwy. 33. The project features 530 feet of open space between the roadway corridor and the rear property lines of the homes which provides a clear view of the Teton Mountains to the east of the highway.

g. Natural Resource Analysis - Title 9 Section C-2-b

The proposed subdivision does not contain lands included in the Natural Resources Overlay including the Wildlife Habitat Overlay. Therefore, a Natural Resource Analysis is not required nor does it appear that any of the other elements identified in the Teton County Title 9, Section C-2-b are applicable.

Existing Conditions Inventory

Floodplains, Wetlands, and riparian areas

Other sections of this document establish that the property is not encumbered with floodplains or wetlands.

Geological or Seismic Hazards

Other sections of this document establish that the property is not encumbered by geologic hazards.

Wildfire Danger

The property does not fall within a high hazard rating according to the Teton County Wildfire Mitigation Plan.

Existing vegetation Communities

The property is managed as cultivated agriculture, primarily hay and grass with occasional rotation to grain.

Ridges and Rock Outcroppings

The property does not include any significant rock outcroppings.

Location within One Mile of Ski Hill Road or any State Highway

The property is within one mile of Highway 33.

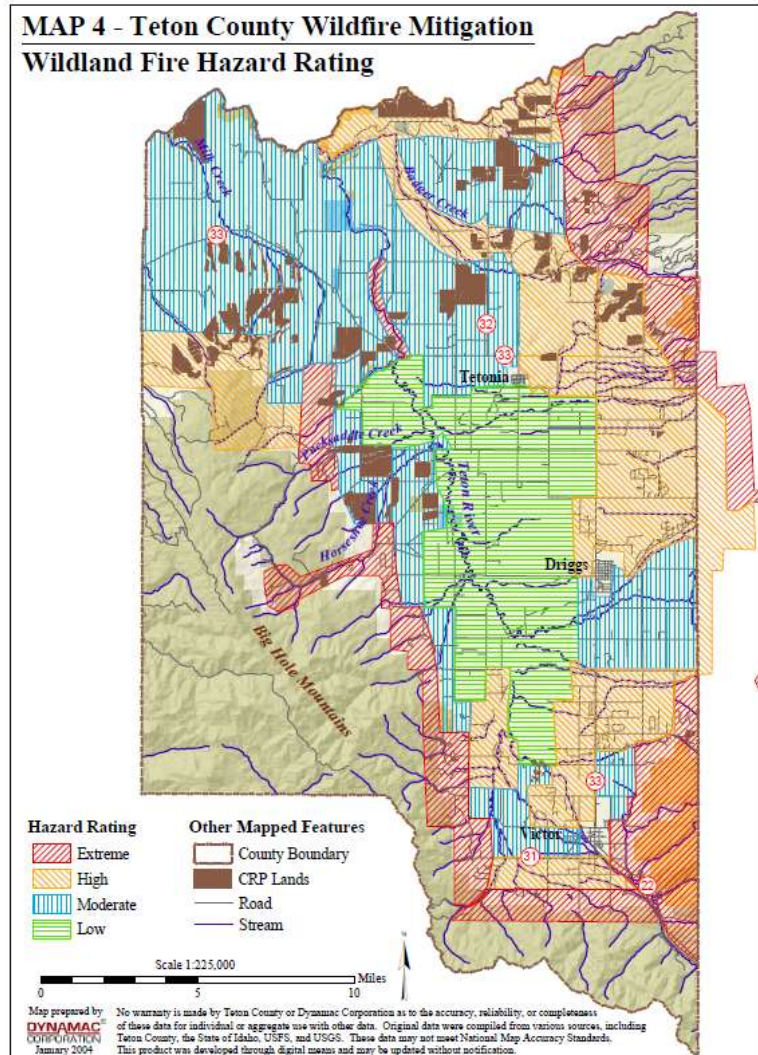


Figure 6: Teton County Wildfire Mitigation Plan, Wildland Fire Hazard Rating (April 2004)

h. Wildlife Habitat Assessment, as required - Title 9 Section C-2-c

The proposed subdivision does not contain any lands included in the Wildlife Habitat Overlay; therefore, a Wildlife Habitat Assessment is not required.

i. Hillside Assessment, as required - Title 9 Section C-2-c

None of the property falls within the Hillside Overlay. Therefore, no restrictions related to ground slope are applicable.

Contour Plan

The Contour Plan is provided in the Engineering Improvement drawing package.

Grading Plan

The Grading Plan is provided in the Engineering Improvement drawing package. Grading is applicable to the road prism only as individual lot owners will determine the grading on specific lots.

Soils Report

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Soils Report may not be necessary.

Slope Stabilization Plan

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Slope Stabilization Plan may not be necessary.

Revegetation Plan

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Revegetation Plan may not be necessary.

Building Envelopes

Building envelopes are not specifically planned but may be considered to preserve views for potential lot owners.

j. Public Services/Fiscal Impact Analysis (twenty lots or more) - Title 9 Section C-4-A

The proposed development contains 25 buildable lots. A Public Services/Fiscal Impact Analysis is required and has been prepared. See the appendices.

k. Traffic Impact Study (ten lots or more) - Title 9 Section C-3-D

The proposed development contains 25 buildable lots. A Traffic Impact Study is required and has been prepared. See Appendices.

l. Natural Resources Impact Mitigation Plan, as required - Title 9 Section C-2-c

The project does not include any natural resource overlays, therefore, a Natural Resource Impact Mitigation Plan is not required.

m. Open Space Management Plan, as required - Title 9 Section C-2-c

The project includes open space, therefore, an Open Space Management Plan is required. See appendices

n. Facilities Map include existing structures

The engineering improvement drawings include a Master Plan, Hardscape Plan, and Grading & Drainage Plan. There are no existing structures on the property.

o. Written determination signed by a qualified professional that the above condition(s), as applicable, do not exist on the property

The responses to the above questions as determined from publicly available information, including the mapping prepared by Teton County, represent the professional opinion of the Engineer.

3. Other Land Use Applications, as needed:

a. Scenic Corridor - Title 8 Section 8-5-2

The proposed development includes land within the scenic corridor. This portion of the property is included in the dedicated open space.

b. Zone Change - Title 8 Section 8-3-6

The Applicant is not proposing any zone change in association with the proposed development.

c. Conditional Use Permit - Title 8 Section 8-6-1

The Applicant is not proposing any use at this time that would require a Conditional Use Permit.

d. Variance - Title 8 Section 8-8-1

The Applicant is not proposing any variances in association with the proposed development.

e. Other: _____.

Not applicable.

SECTION V: CHECKLIST OF REQUIRED ITEMS/INTERAGENCY COORDINATION

1. Correspondence Required:

a. Financial “Letter of Intent”

A financial “Letter of Intent” is provided in the appendix.

b. Letters of Preliminary Approval:

Fire Marshal

The development contains 25 buildable residential lots. A fire suppression system is required. The Fire Marshal was provided with the preliminary engineering drawings and has provided correspondence indicating the requirements for fire suppression.

DEQ, if applicable

Because there are no public water or sewer systems proposed, there is no requirement from DEQ to review and comment on the proposed development.

Irrigation District/Canal Company

The proposed development does not have any creeks, canals, or ditches on the property and therefore there is no ownership, ROW, or easement on the property for an irrigation district or canal company. However, the property falls within the Garden Water Company, LTD

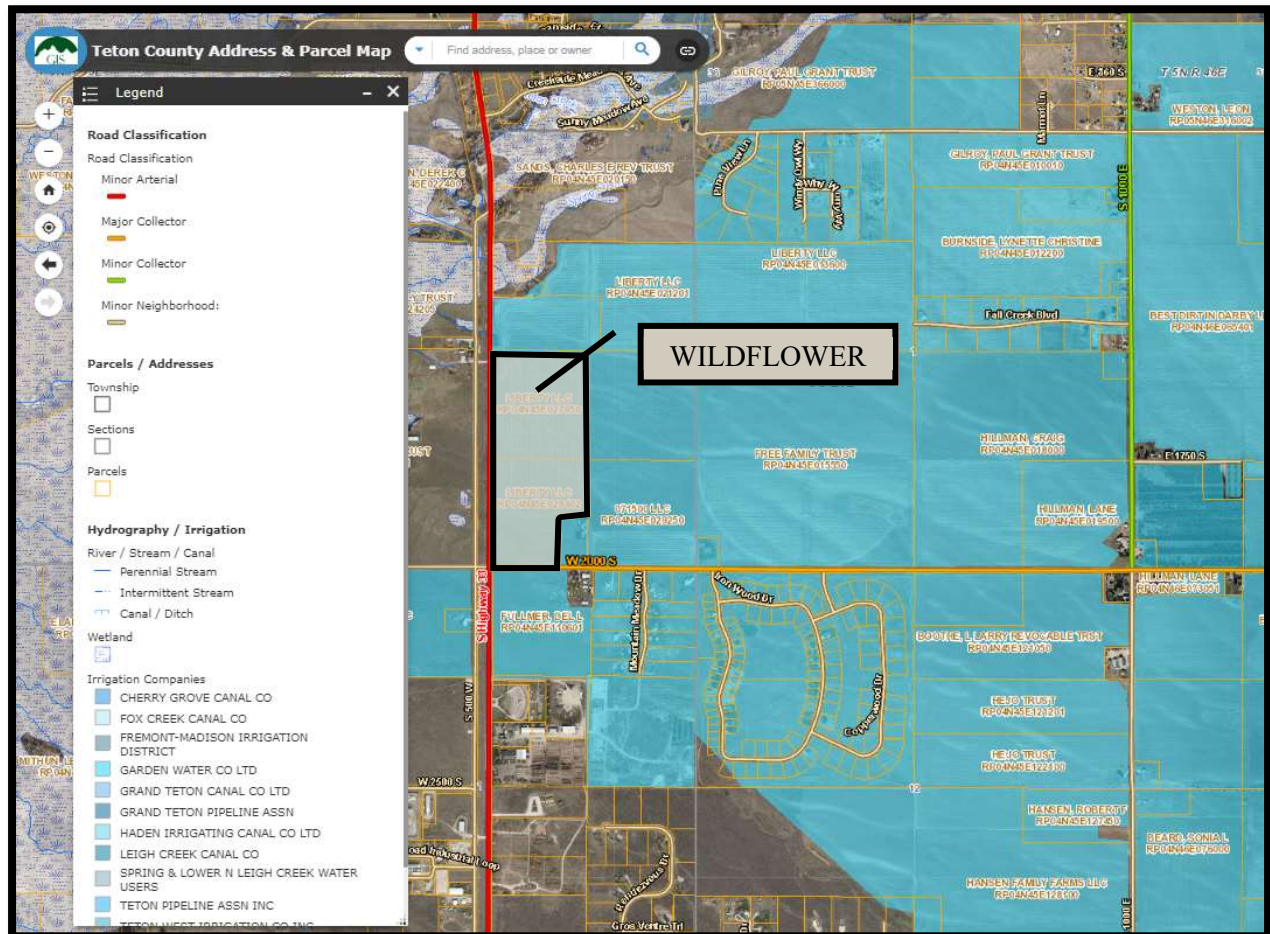


Figure 7: Hydrography and Irrigation per the Teton County GIS Mapping System (2022).

Idaho Public Health Department:

District 7 of the Idaho Public Health Department has conducted soil testing on the property and indicated its suitability for installation of subsurface wastewater dispersal systems. The project has been submitted to them for review and comment.

Property not requiring DEQ approval

Project does not require DEQ approval. A letter from the Idaho Public Health Department is provided in the appendix.

Property with DEQ involvement or unique concerns identified by Public Health Department

Property does not require DEQ approval.

“Will Serve Letter” from the City, if applicable

The City is not providing utility services, therefore a “will serve letter” is not applicable.

2. Infrastructure Improvement Plans:

Two (2) copies of preliminary infrastructure improvement plans:

a. Fire Suppression

The development contains 25 buildable residential lots. A fire pond is proposed as the mechanism for fire suppression system.

b. Water System, if any

There is no public water system.

c. Sewer System, if any

There is no public sewer system.

d. Storm and Erosion Plan

A Grading and Drainage Plan is provided in the engineering improvement drawings with calculations for stormwater runoff for the 100-Year, 24-Hour storm event from the road ROW.

e. Landscaping Plan

A Landscaping Plan is applicable to each individual lot.

3. Roads:

a. Road Access Permit (Road and Bridge Department)

Access to the development is from a roadway owned by Teton County. The development proposes utilizing one existing approach which will require an encroachment permit from the County Road & Bridge Department.

b. Intent for County Road Improvements (Board of County Commissioners)

The Applicant has no intent for the County regarding road improvements.

c. Description to assure adequate funds for maintenance of roads within the development

The roads within the subdivision will be maintained by the HOA as described in the CC & Rs.

d. Two (2) copies of preliminary road plans prepared by a registered Idaho Civil Engineer including at a minimum the following:

Pavement/gravel design including necessary cross sections

The street layout complies with the County standards for a local road consistent with an ADT between 150 and 400 vehicles per day. The proposed ROW is 60' and the proposed road width is 24 feet with one ten-foot travel lane in each direction and a two-foot shoulder on each side of the road.

Minor collector roads differ from major collectors in that these routes should be “spaced at intervals consistent with population density to accumulate traffic from local roads and bring all developed areas within reasonable distances of collector roads; provide service to the remaining smaller communities, and link the locally important traffic generators with their rural hinterland” (AASHTO, 2004).

Although the designation of a minor collector is not based on ADT, major collectors in Teton County as defined in Figure 2 generally have a traffic volume ranging from 150 to 400 vehicles per day. The road standard for minor collectors in Teton County, Idaho is shown in Table 5 below, while the cross-section may be viewed in Figure 6.

Table 5. Minor Collector Standard

Lane Width (ft)	Shoulder Width (ft)	Road Width (ft)	ADT (veh/day)	Speed Limit (mph)
10	2	24	150-400	35-45

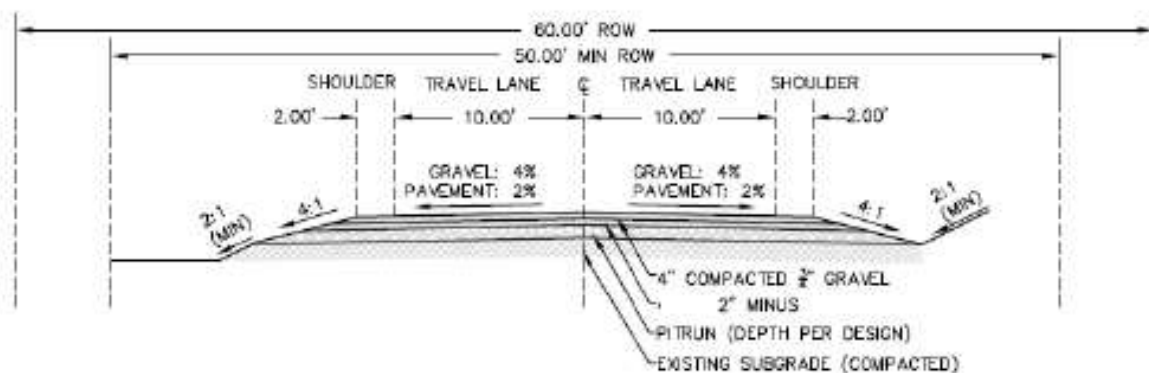


Figure 6. Minor Collector Cross-Section

Figure 8: Minor Collector Cross Section for Teton County, Idaho.

The roads for the subdivision include a secondary access that connects to the Trestles project, a residential subdivision planned for the land immediately east of the Wildflower project.

Road will be constructed at a minimum of eight (8) ft. from the edge of the roadway easement to the nearest edge of traveled way

The design is compliant.

Cross-section of pavement and turn around

Cross-sections provided along with plans for turn arounds in the engineering improvement drawings.

Cut and fill cross section sheets indicating sections spaced in consideration of gradient of the road

Cut and fill cross sections are not provided.

Plan and Profile and typical cross sections of roads and turn-arounds, Plan and Profile should be based at a minimum in consideration of gradient of the road

Plan & Profile sheets are provided.

Road system for un-platted portions of the property

All of the property is platted.

Easements dedicated to the public/Arterial and Collector roads are platted to appropriate separate entities

The County has indicated they will not be accepting the road. Therefore, there are no easements dedicated to the public.

Mailboxes and pullouts

Mailboxes are planned for a common area near the front of the development.

Fire pullouts

A pullout is provided near the fire pond.

Bridges preliminary design

There are no bridges in the project.

(See Teton County Highway and Street Guidelines for road specifications for further information.)

Acknowledged.

APPENDIX A

Most Recent Deed

AFTER RECORDING MAIL TO:

BFF Holdings, Inc
500 Huntsman Way
Salt Lake City, UT 84108

QUITCLAIM DEED

For Value Received, **BFF Holdings Inc., a Utah Corporation who erroneously took title as BFF Holdings, LLC a Utah limited liability company**, do(es) hereby convey, release, remise, and forever quit claim unto **BFF Holdings Inc., a Utah Corporation**, whose address is **500 Huntsman Way, Salt Lake City, UT 84108**, herein after called the Grantee, the following described premises situated in Teton County, Idaho, to-wit:

PARCEL 1:

THAT PART OF THE SW1/4 SE1/4, SECTION 2, TWP 4N, RNG 45E, B.M., TETON COUNTY, IDAHO, LYING EAST OF THE STATE HIGHWAY 33 RIGHT-OF-WAY, LESS PARCEL 2, BEING FURTHER DESCRIBED AS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 2; THENCE S 89°24'04" E, ALONG THE SOUTH LINE OF SAID SECTION 2, 176.79 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY OF STATE HIGHWAY 33, SAID POINT BEING THE POINT OF BEGINNING; THENCE N 00°07'58" E, ALONG THE EAST LINE OF SAID RIGHT-OF-WAY, 1322.58 FEET, TO A POINT ON THE NORTH LINE OF THE SE1/4 SW 1/4; THENCE S 89°24'00" E, 1142.27 FEET, TO THE NE CORNER OF THE SE1/4 SW1/4; THENCE S 00°17'13" E, 662.67 FEET, TO THE NE CORNER OF PARCEL 2; THENCE N 89°24'04" W, 330.00 FEET, TO THE NW CORNER OF PARCEL 2; THENCE S 00°17'13" E 660.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SE1/4 SW1/4; THENCE N 89°24'04" W, 821.96 FEET, TO THE POINT OF BEGINNING.

PARCEL 2:

TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO SECTION 2: S1/2 NE1/4,

LESS AND EXCEPTING THEREFROM THE EXISTING RIGHT-OF-WAY FOR STATE HIGHWAY 33 AND RAILROAD RIGHT-OF-WAY ALONG THE WEST BOUNDARY,

ALSO LESS AND EXCEPTING THEREFROM:

A PART OF THE SW 1/4 NE 1/4 SECTION 2, TOWNSHIP 4N, RANGE 45E, B.M., TETON COUNTY, IDAHO BEING FURTHER DESCRIBED AS:

FROM THE NW CORNER OF THE SW 1/4 NE 1/4 OF SAID SECTION 2, S. 00°14'49"E. (DEED CALL: SOUTH). 661.00 FEET ALONG THE WEST LINE OF HIGHWAY 33 RIGHT-OF-WAY AND N. 89°45'11"E. (DEED CALL: EAST), 455.00 FEET TO THE POINT OF BEGINNING; THENCE N. 33°00'00"E, 300.00 FEET TO A POINT; THENCE S. 57°00'00"E. 267.94 FEET TO A POINT; THENCE S. 33°00'00"W., 161.77 FEET TO A POINT; THENCE WEST, 300.00 FEET TO A POINT; THENCE NORTH, 30.00 FEET TO A POINT OF BEGINNING.

Quitclaim Deed - continued

ALSO LESS AND EXCEPTING THEREFROM: COMMENCING AT A POINT 540 FEET WEST OF THE NE CORNER OF THE SW1/4 NE1/4 OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO, AND RUNNING THENCE SOUTH 300 FEET; THENCE WEST 290 FEET; THENCE NORTH 300 FEET; THENCE EAST 290 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPTING THEREFROM: A PART OF THE S1/2NE1/4 SECTION 2, TOWNSHIP 4N, RANGE 45E, B.M., TETON COUNTY, IDAHO BEING FURTHER DESCRIBED AS:

COMMENCING AT A POINT WHERE THE EAST RIGHT OF WAY LINE OF THE EXISTING STATE HWY 33 CROSSES THE SOUTH LINE OF THE SW1/4NE1/4 OF SAID SECTION 2, WHICH POINT IS APPROXIMATELY 176.5 FEET EAST OF THE SW CORNER OF THE NE1/4 OF SECTION 2, AND RUNNING THENCE EAST ALONG THE QUARTER SECTION LINE 1320 FEET; THENCE NORTH 660 FEET; THENCE WEST, PARALLEL TO THE QUARTER SECTION LINE, 1320 FEET MORE OR LESS TO THE EAST RIGHT OF WAY LINE OF HWY 33; THENCE SOUTH ALONG THE EAST RIGHT OF WAY LINE A DISTANCE OF 660 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

A PART OF THE NW 1/4 SE 1/4 SECTION 2, TWP. 4N., R. 45E., B.M., TETON COUNTY, IDAHO BEING FURTHER DESCRIBED AS: FROM THE CORNER OF SAID SECTION 2 S89 23'57"E, 194.19 FEET TO THE POINT OF BEGINNING; THENCE S 89 23' 57" E, 1132.57 FEET TO A POINT; THENCE S 00 17' 13" E, 1322.67 FEET TO A POINT; THENCE N 89 24' 00" W, 1142.27 FEET TO A POINT ON THE EAST LINE OF STATE HWY 33; THENCE ALONG SAID EAST LINE N 00 07'58" E, 1322.58 FEET TO THE POINT OF BEGINNING.

PARCEL 4:

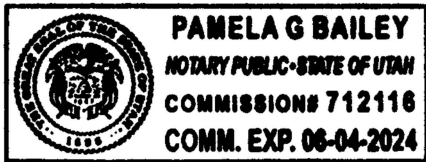
**TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO
SECTION 1: S1/2 NW1/4;
TOGETHER WITH A 30 FOOT EASEMENT FOR INGRESS AND EGRESS ALONG THE WEST SIDE OF THE SW1/4 OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO.**

together with its appurtenances.

Dated: 6/8/21
[Signature]
Thomas E. Muir, Director

STATE OF Utah)
COUNTY OF Salt Lake) ss.

On this 06/8/2021, before me, a Notary Public in and for said State, personally appeared **Thomas E. Muir**, known or identified to me, to be the **Director** of the Corporation that executed the instrument or the person who executed the instrument on behalf of said Corporation, and acknowledged to me that such Corporation executed the same.



Pamela G Bailey
Notary Public of Utah
Residing at Salt Lake City, UT
Commission Expires 6-4-24

NOT A LEGAL COPY

First American Title Company

GRANT DEED

FOR VALUE RECEIVED, **BFF Holdings, Inc.**, a Utah corporation, Grantor, does hereby grant to **Liberty, LLC**, a Nevada limited liability company, Grantee, whose address is **11629 S 700 E #125, Draper, UT 84020**, the following described property situated in Teton County, Idaho:

See Exhibit A attached hereto and incorporated herein by this reference.

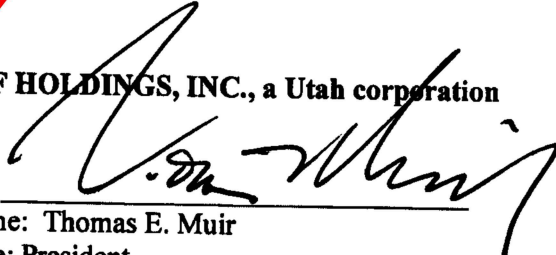
TOGETHER WITH all and singular the tenements, hereditament, and appurtenances thereunto belonging, or otherwise appertaining, including water rights, and all estate, right, title and interest in and to the said property.

SUBJECT TO: Taxes and assessments for the current year and future years; reservations in patents; all easements, rights of way, encumbrances, liens, covenants, conditions, restrictions and other matters that may appear in the records of the recorder of the county in which said property is located; and any matters that would be revealed by an accurate survey or inspection of said property.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed this 8 day of June, 2021.

GRANTOR:

BFF HOLDINGS, INC., a Utah corporation

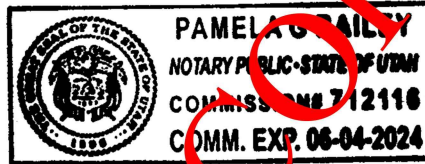
By: 
Name: Thomas E. Muir
Title: President

STATE OF Utah)
) ss.
County of Salt Lake

This record was acknowledged before me on JUNE 8, 2021, Thomas E. Muir as
President of BFF Holdings, Inc., a Utah corporation.

Pamela G. Bailey
Signature of Notary Public

(stamp)



My Commission Expires: 6-4-2024

NOT A LEGAL COPY

EXHIBIT 'A'**LEGAL DESCRIPTION:****PARCEL 1:**

THAT PART OF THE SW1/4 SE1/4, SECTION 2, TWP 4N, RNG 45E, B.M., TETON COUNTY, IDAHO, LYING EAST OF THE STATE HIGHWAY 33 RIGHT-OF-WAY, LESS PARCEL 2, BEING FURTHER DESCRIBED AS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 2; THENCE S 89°24'04" E, ALONG THE SOUTH LINE OF SAID SECTION 2, 176.79 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY OF STATE HIGHWAY 33, SAID POINT BEING THE POINT OF BEGINNING; THENCE N 00°07'58" E, ALONG THE EAST LINE OF SAID RIGHT-OF-WAY, 1322.58 FEET, TO A POINT ON THE NORTH LINE OF THE SE1/4 SW1/4; THENCE S 89°24'00" E, 1142.27 FEET, TO THE NE CORNER OF THE SE1/4 SW1/4; THENCE S 00°17'13" E, 662.67 FEET, TO THE NE CORNER OF PARCEL 2; THENCE N 89°24'04" W, 330.00 FEET, TO THE NW CORNER OF PARCEL 2; THENCE S 00°17'13" E 660.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SE1/4 SW1/4; THENCE N 89°24'04" W, 821.96 FEET, TO THE POINT OF BEGINNING.

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COMMENCING AT A POINT WHERE THE EAST RIGHT OF WAY LINE OF THE EXISTING STATE HWY 33 CROSSES THE SOUTH LINE OF THE SW $\frac{1}{4}$ NE $\frac{1}{4}$ OF SAID SECTION 2, WHICH POINT IS APPROXIMATELY 176.5 FEET EAST OF THE SW CORNER OF THE NE $\frac{1}{4}$ OF SECTION 2, AND RUNNING THENCE EAST ALONG THE QUARTER SECTION LINE 1320 FEET; THENCE NORTH 660 FEET; THENCE WEST, PARALLEL TO THE QUARTER SECTION LINE, 1320 FEET MORE OR LESS TO THE EAST RIGHT OF WAY LINE OF HWY 33; THENCE SOUTH ALONG THE EAST RIGHT OF WAY LINE A DISTANCE OF 660 FEET TO THE POINT OF BEGINNING.

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A PART OF THE NW $\frac{1}{4}$ SE $\frac{1}{4}$ SECTION 2, TWP. 4N, RNG. 45E., B.M., TETON COUNTY, IDAHO BEING FURTHER DESCRIBED AS: FROM THE C $\frac{1}{4}$ CORNER OF SAID SECTION 2 S89 23'57"E, 194.19 FEET TO THE POINT OF BEGINNING, THENCE S 89 23' 57" E, 1132.57 FEET TO A POINT; THENCE S 00 17' 13" E, 1322.67 FEET TO A POINT; THENCE N 89 24' 00" W, 1142.27 FEET TO A POINT ON THE EAST LINE OF STATE HWY 33; THENCE ALONG SAID EAST LINE N 00 07'58" E, 1322.58 FEET TO THE POINT OF BEGINNING.

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TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO SECTION 1: S1/2 NW1/4; TOGETHER WITH A 30 FOOT EASEMENT FOR INGRESS AND EGRESS ALONG THE WEST SIDE OF THE SW1/4 OF SECTION 1, TOWNSHIP 4 NORTH, RANGE 45 EAST, BOISE MERIDIAN, TETON COUNTY, IDAHO.



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Meetings

June 2023 to Present

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Teton County ID

Planning Item

Approved Mar 8, 2022 5:00 PM

Wildflower Reserve Subdivision Concept Hearing

Information

Department: Planning Department **Sponsors:**
Category: Public Hearing

Attachments

- [Wildflower Reserve Subdivision_Staff Report 030822](#)
- [Wildflower Reserve_Concept Plan Application_12.13.2021](#)
- [Wildflower Reserve_Concept Plan & Narrative_10.24.2021](#)
- [Wildflower Reserve_Concept Plan survey_12.13.2021](#)
- [Wildflower Reserve Subdivision_Mayor August Ltr_3.4.2022 - Google Docs](#)
- [2022-03-04_Engineer Review_Wildflower Reserve Concept](#)

Body

Having concluded that the Criteria for Approval of a Subdivision Concept Plan found in Title 9-3-2(B-4) can be satisfied, I move to APPROVE the Concept Plan for Wildflower Reserve Subdivision as described in the application materials submitted December 13, 2021, and as updated with additional applicant information attached to this staff report.

Meeting History

Mar 8, 2022 5:00 PM Audio **Planning & Zoning Commission** **Public Hearing** **Draft**

Ms. Krueger reviewed the application for Wildflower Reserve for 24 lots on 64.76 acres and discussed the absence of overlays and the location in the Scenic Corridor of Hwy 33. She also went over some of the applications for subdivisions adjacent to the proposed Wildflower Reserve pointing out the proposed subdivisions involve over 200 lots as they move forward. She commented on the Traffic Impact Study and wanted to see this study done in conjunction with the Ember Ridge Subdivision application that is adjacent and emphasized the need for the study to be based on the option for 2 residences on each lot. Ms. Krueger also discussed public comments received from the City of Driggs concerning the impacts on their parks, the increase in traffic, and their request to restrict the homes in the subdivision from offering nightly rentals.

Mr. Quinn Zyke, representing the applicant, commented they have decided to change the access request to find an access other than from the highway. He stated they are looking at working with adjacent subdivisions to see about connecting roads and paths from adjacent subdivisions. He said they will work on those changes prior to the Preliminary Plat application submittal. Mr. Quinn commented they intend to address the restriction on nightly rentals in the CC&Rs.

PUBLIC COMMENT:

Mr. Alfonso Centeno, adjacent property owner, was looking for more information on how the subdivision will impact his adjacent land directly north of Wildflower Estates. He was concerned with the traffic impact at the intersection of 2000 S and Hwy 33.

Ms. Ida Hansen felt that the application meets the requirements of the current code, and did not want to see an application held up using the Comp Plan or the proposed draft land use code as a reason for denying the application.

Mr. Win Mills, adjacent property owner of Fall Creek Reserve Subdivision on the north, wanted to see two accesses provided to reduce the traffic through his subdivision.

APPLICATION REBUTTAL:

Mr. Zyke commented they are still working out the access issues, which will be determined prior to Preliminary, and will work with the neighbors to try and accommodate their issues.

COMMISSION DELIBERATION:

The Commission had concerns with the density of this subdivision and the proposed subdivisions adjacent, but felt it met the requirements of the Concept application approval criteria.

RESULT: APPROVED [UNANIMOUS]
MOVER: J.A. Michelbacher, Vice Chairman
SECONDER: Wyatt Penfold, Commissioner
AYES: J.A. Michelbacher, Erica Tremblay, Timothy Watters, Wyatt Penfold, Rebeca Nolan

Discussion

Add Comment

APPENDIX I

Financial “Letter of Intent”

Financial Security

Regarding financial security for the construction of the improvements for the Trestles development, the intention is securing bond through cash in owner accounts.

APPENDIX J

Letters of Preliminary Approval

Eric Stoddard

From: Brent CROWTHER
Sent: Tuesday, July 18, 2023 8:20 PM
To: Eric Stoddard
Subject: FW: 01-22-0045 Trestles and Wildflower - Revised Fire Suppression Plan

Approved

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Earle Giles <egiles@tetoncountyfire.com>
Date: 6/12/23 3:34 PM (GMT-07:00)
To: Brent CROWTHER <bcrowther@civilize.design>
Cc: Curt Behle <curtbehle@gmail.com>, Quinn QUINN Zite <quinnzite@gmail.com>
Subject: Re: 01-22-0045 Trestles and Wildflower - Revised Fire Suppression Plan

Mr. Crowther,

Thank you for the research and time and money invested into the pressurized water/well system and the Engineering to change from depending Solly on fire ponds for the water supply need for fire suppression. I am approving the proposed redundant system with pressurized as the primary source and the ponds as a backup for drafting capability's as needed if we have a larger fire event in the area.

Thank you,

EARLE GILES, III

Deputy Fire Chief
Fire Marshal
Teton County Fire Protection District
egiles@tetoncountyfire.com
tetoncountyfire.com
p: 208.715.5201
f: 208.936.7014

From: Brent CROWTHER <bcrowther@civilize.design>
Sent: Monday, June 12, 2023 1:47 PM
To: Earle Giles <egiles@tetoncountyfire.com>
Cc: Curt Behle <curtbehle@gmail.com>; Quinn QUINN Zite <quinnzite@gmail.com>
Subject: FW: 01-22-0045 Trestles and Wildflower - Revised Fire Suppression Plan

Earl,

The attached file is updated to eliminate a couple of the details that were carryovers from previous submissions. Review this instead of the file attached to the previous email.

Brent E. "Husk" Crowther, P.E., PMP, CFM

Brent E Crowther, P.E. PMP, CFM
President
Civilize, PLLC
Management and Engineering
3853 W. Mountain View Dr.
Rexburg, ID 83440
208-351-2824
bcrowther@civilize.design

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From: Brent CROWTHER
Sent: Monday, June 12, 2023 1:41 PM
To: Earl Giles <egiles@tetoncountyfire.com>
Cc: Curt Behle <curtbehle@gmail.com>; Quinn QUINN Zite <quinnzite@gmail.com>
Subject: 01-22-0045 Trestles and Wildflower - Revised Fire Suppression Plan

Earl,

Attached is a revised fire suppression plan for Trestles I, Trestles II, and Wildflower that should address our conversation as well as those you have had with Curt and Quinn. The proposal is to provide two year-round pressurized hydrants using the existing well; one hydrant at the boundary between Trestles and Wildflower and one hydrant at the boundary between Trestles I and Trestles II. The hydrants will be those specified by the City of Driggs and will feature a turnout from the subdivision road for access to fill the trucks. The pressurized hydrants will entail designing a well house with valving to separate the irrigation system from the fire suppression system but that is relatively straightforward. For redundancy, we also propose the two fire ponds at the two entrances to the developments, one on 2000 South at the entrance to Wildflower and one on 2000 South at the entrance to Trestles. I think this strikes a reasonable balance between the needs of the Fire District, the IFC recommendations, and the cost for the developer. It gives us a year-round water source for fire suppression along with a redundant source.

Can you let us know if this proposal is acceptable and satisfies the design you have expressed over the past couple of months in terms of a pressurized system?

Thank you.

Brent E. "Husk" Crowther, P.E., PMP, CFM

Brent E Crowther, P.E. PMP, CFM
President
Civilize, PLLC
Management and Engineering
3853 W. Mountain View Dr.
Rexburg, ID 83440
208-351-2824
bcrowther@civilize.design

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APPENDIX K

Water Rights

IDAHO DEPARTMENT OF WATER RESOURCES

WATER RIGHT REPORT

3/7/2023

IDAHO DEPARTMENT OF WATER RESOURCES

Water Right Report

WATER RIGHT NO. 22-7043

<u>Owner Type</u>	<u>Name and Address</u>
Current Owner	BFF HOLDINGS INC 500 S HUNTSMAN WAY SALT LAKE CTY, UT 84108-1235
Original Owner	PRICE BROS
Original Owner	DALE K PRICE 73 HARPER PO BOX 563 DRIGGS, ID 83422 2083542252
Original Owner	VIRGINIA P PRICE 73 HARPER AVE PO BOX 563 DRIGGS, ID 83422 2083542252
Original Owner	JAMES W PRICE
Original Owner	MARLENE T PRICE PO BOX 212 DRIGGS, ID 83422 2083542381
Security Interest	THE BANK OF COMMERCE PO BOX 787 DRIGGS, ID 83422-0787

Priority Date: 02/03/1971

Basis: Decreed

Status: Active

<u>Source</u>	<u>Tributary</u>
GROUND WATER	

<u>Beneficial Use</u>	<u>From</u>	<u>To</u>	<u>Diversion Rate</u>	<u>Volume</u>
IRRIGATION	05/01	11/01	2.05 CFS	447 AFA

Total Diversion | | | 2.05 CFS | 447 AFA

Location of Point(s) of Diversion:

GROUND WATER | SWSENE | Sec. 02 | Township 04N | Range 45E | TETON County

Place(s) of use:

Place of Use Legal Description: IRRIGATION TETON County

Township	Range	Section	Lot	Tract	Acres	Lot	Tract	Acres	Lot	Tract	Acres	Lot	Tract	Acres
04N	45E	2		SWNE	24		SENE	40						
				NESE	40		NWSE	34						

Total Acres: 138

Conditions of Approval:

1. C03 Right includes accomplished change in point of diversion pursuant to Section 42-1425, Idaho Code.
2. C18 This partial decree is subject to such general provisions necessary for the definition of the rights or for the efficient administration of the water rights as may be ultimately determined by the Court at a point in time no later than the entry of a final unified decree. Section 42-1412(6), Idaho Code.

Dates:

Licensed Date:

Decreed Date: 11/24/2008

Permit Proof Due Date:

Permit Proof Made Date:

Permit Approved Date:

Permit Moratorium Expiration Date:

Enlargement Use Priority Date:

Enlargement Statute Priority Date:

Water Supply Bank Enrollment Date Accepted:

Water Supply Bank Enrollment Date Removed:

Application Received Date:

Protest Deadline Date:

Number of Protests: 0

Other Information:

State or Federal: S

Owner Name Connector:

Water District Number: TBD

Generic Max Rate per Acre:

Generic Max Volume per Acre:

Civil Case Number:

Old Case Number:

Decree Plaintiff:

Decree Defendant:

Swan Falls Trust or Nontrust:

Swan Falls Dismissed:

DLE Act Number:

Cary Act Number:

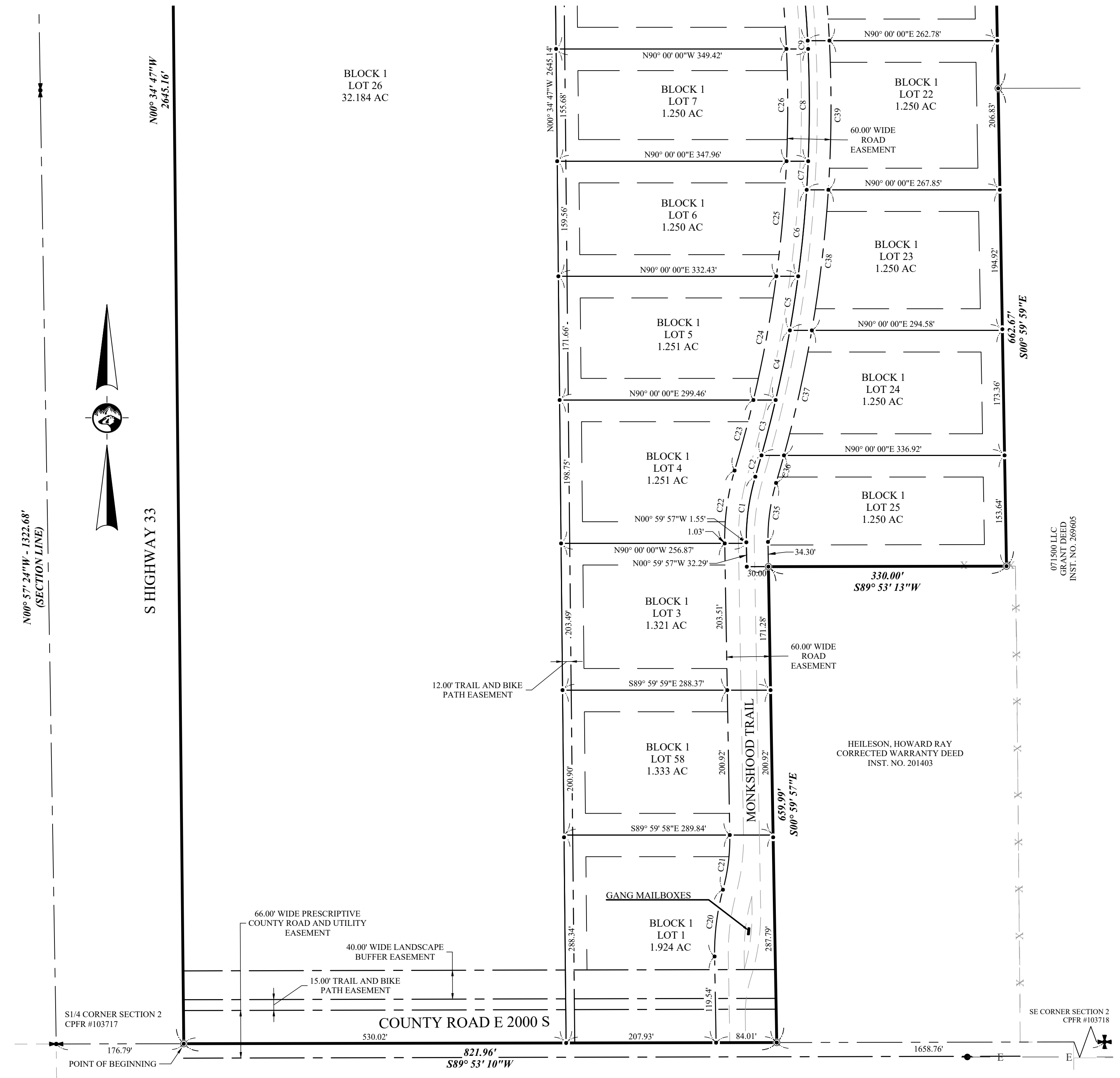
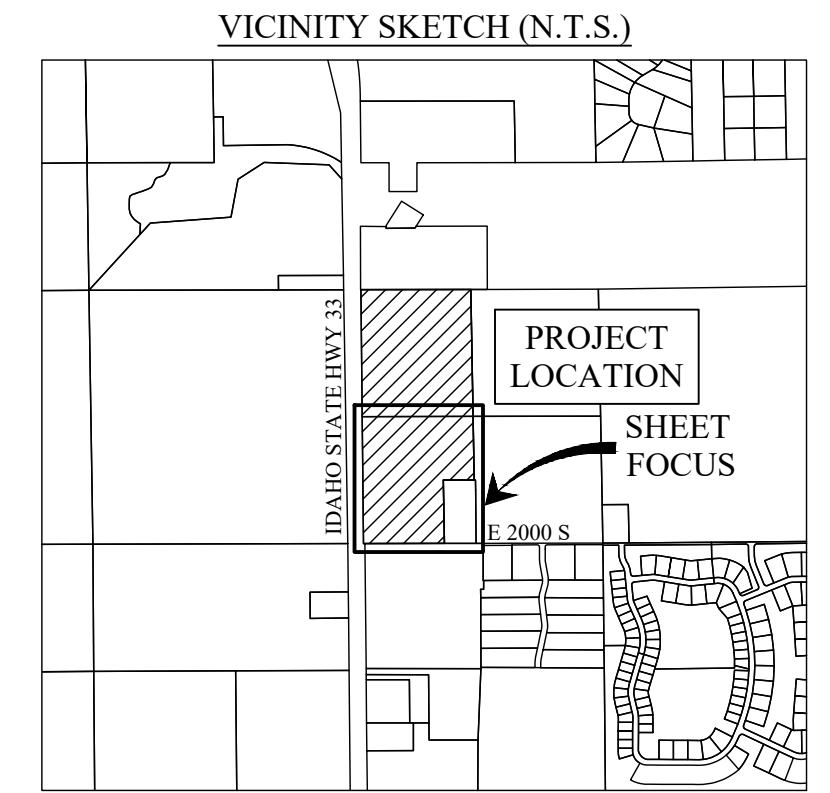
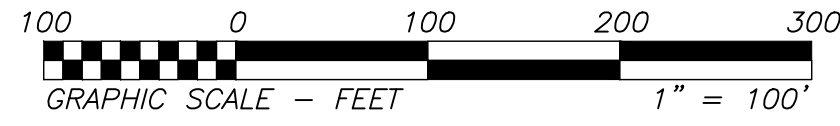
Mitigation Plan: False

APPENDIX L

Survey Preliminary Plat

WILDFLOWER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 45 EAST, B.M., TETON COUNTY, IDAHO



- LEGEND**
- SECTION CONTROL (AS NOTED)
 - SET 5/8" IRON ROD WITH PLASTIC CAP MARKED "PLS 14222"
 - SET 5/8" IRON ROD WITH ALUMINUM CAP MARKED "PLS 14222"
 - SET 1/2" IRON ROD WITH PLASTIC CAP MARKED "PLS 14222"
 - FOUND 1/2" REBAR WITH CAP MARKED "AW2860"
 - TELECOMMUNICATIONS PEDESTAL
 - TRANSFORMER
 - UTILITY POLE
 - SUBDIVISION BOUNDARY
 - LOT BOUNDARY LINE
 - ADJOINING BOUNDARIES
 - ROAD EASEMENT - AS NOTED
 - FENCE LINE
 - VACATED ACCESS EASEMENT
 - SECTION LINE
 - EASEMENTS (AS NOTED)
 - SURVEY TIES

PROFESSIONAL LAND SURVEYOR
LICENSED
JUSTIN M. STEFFLER
STATE OF IDAHO
Date _____
Justin M. Steffler, P.L.S. 14222

TITLE	PRELIMINARY PLAT WILDFLOWER SUBDIVISION		
DATE:	01/02/23	DRAWN/CHK BY:	PS/JS
PROJECT:	20459/T4NR45E/S2/20459		



SHEET 1 OF 4

1/4	SEC	T	R
	2	4N	45E

4141 S 58 W
IDAHO FALLS, ID 83402
208-715-4380

BASIS OF BEARING NOTE

The bearing along the boundary line between the Southeast corner and East 1/4 corner of Section 2 of Township 4 North, Range 45 East, Boise Meridian, Teton County, Idaho is the basis for all bearings on this plat.

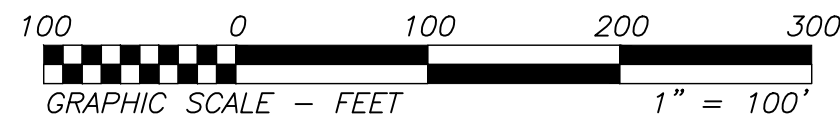
FULLMER, DEL L

071500 LLC
GRANT DEED
INST. NO. 269605

HEILESON, HOWARD RAY
CORRECTED WARRANTY DEED
INST. NO. 201403

S1/4 CORNER SECTION 2
CPFR #103717

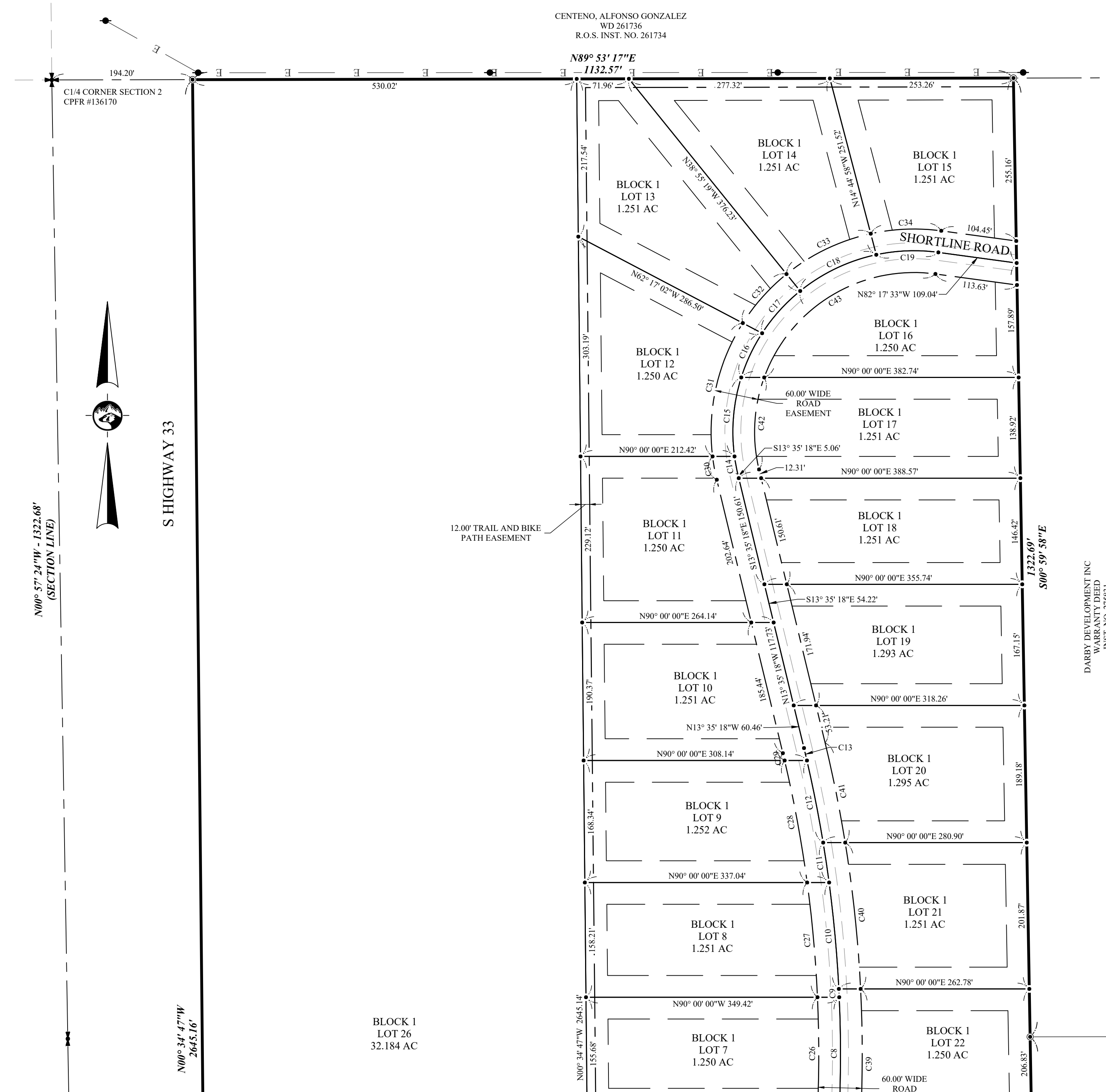
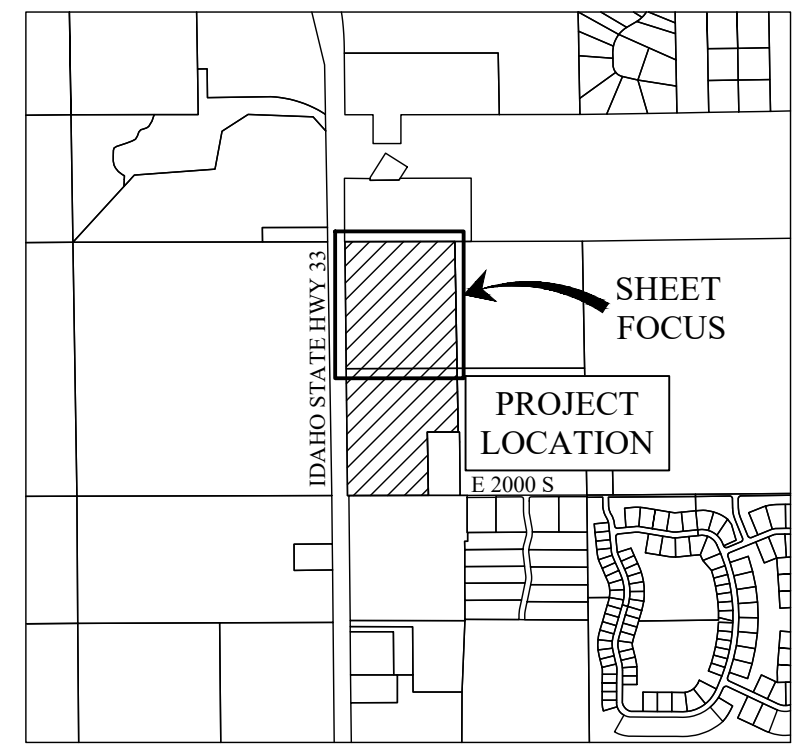
SE CORNER SECTION 2
CPFR #103718



WILDFLOWER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 45 EAST, B.M., TETON COUNTY, IDAHO

VICINITY SKETCH (N.T.S.)



BASIS OF BEARING NOTE

The bearing along the boundary line between the Southeast corner and East 1/4 corner of Section 2 of Township 4 North, Range 45 East, Boise Meridian, Teton County, Idaho is the basis for all bearings on this plat.

LEGEND

- SECTION CONTROL (AS NOTED)
- SET 5/8" IRON ROD WITH PLASTIC CAP MARKED "PLS 14222"
- SET 5/8" IRON ROD WITH ALUMINUM CAP MARKED "PLS 14222"
- SET 1/2" IRON ROD WITH PLASTIC CAP MARKED "PLS 14222"
- FOUND 1/2" REBAR WITH CAP MARKED "AW2860"
- TELECOMMUNICATIONS PEDESTAL
- TRANSFORMER
- UTILITY POLE
- SUBDIVISION BOUNDARY
- LOT BOUNDARY LINE
- ADJOINING BOUNDARIES
- ROAD EASEMENT - AS NOTED
- FENCE LINE
- VACATED ACCESS EASEMENT
- SECTION LINE
- EASEMENTS (AS NOTED)
- SURVEY TIES

DARBY DEVELOPMENT INC
WARRANTY DEED
INST. NO. 275831

PROFESSIONAL LAND SURVEYOR
LICENSED
JUSTIN M. STEFFLER
Date _____
Justin M. Steffler, P.L.S. 14222

TITLE	PRELIMINARY PLAT WILDFLOWER SUBDIVISION		
DATE:	01/02/23	DRAWN/CHK BY:	PS/JS
PROJECT:	20459/T4NR45E/S2/20459		



SHEET 2 OF 4

1/4	SEC	T	R
	2	4N	45E

4141 S 58 W
IDAHO FALLS, ID 83402
208-715-4380

WILDFLOWER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 45 EAST, B.M., TETON COUNTY, IDAHO

CURVE TABLES

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	92.10	300.00	017°35'24"	91.74	N07° 47' 45"E
C2	30.81	1800.00	000°58'51"	30.81	N16° 06' 01"E
C3	79.17	1800.00	002°31'12"	79.17	N14° 20' 59"E
C4	98.64	1800.00	003°08'23"	98.63	N11° 31' 11"E
C5	75.89	1800.00	002°24'57"	75.89	S08° 44' 31"W
C6	120.49	1800.00	003°50'07"	120.46	S05° 37' 00"W
C7	39.73	1800.00	001°15'52"	39.73	S03° 04' 00"W
C8	155.72	1800.00	004°57'24"	155.67	N00° 02' 38"W
C9	11.47	1800.00	000°21'55"	11.47	S02° 42' 17"E
C10	147.40	1800.00	004°41'30"	147.36	S05° 14' 00"E
C11	55.71	1800.00	001°46'24"	55.70	N08° 27' 57"W
C12	115.44	1800.00	003°40'29"	115.42	N11° 11' 23"W
C13	17.63	1800.00	000°33'40"	17.63	N13° 18' 28"W
C14	25.55	250.00	005°51'17"	25.53	S10° 39' 39"E
C15	110.18	250.00	025°15'05"	109.29	N04° 53' 32"E
C16	67.70	250.00	015°30'54"	67.49	N25° 16' 31"E
C17	78.72	250.00	018°02'26"	78.39	N42° 03' 11"E
C18	117.37	250.00	026°53'55"	116.29	N64° 31' 21"E
C19	86.11	250.00	019°44'08"	85.69	S87° 50' 23"W
C20	93.65	330.00	016°15'37"	93.34	N07° 07' 51"E
C21	76.62	270.00	016°15'37"	76.37	N07° 07' 51"E
C22	101.31	330.00	017°35'24"	100.91	N07° 47' 45"E
C23	101.17	1770.00	003°16'30"	101.16	N14° 57' 12"E
C24	174.64	1770.00	005°39'11"	174.57	N10° 29' 21"E
C25	160.24	1770.00	005°11'13"	160.18	N05° 04' 09"E
C26	155.72	1770.00	005°02'27"	155.67	N00° 02' 41"W
C27	158.89	1770.00	005°08'36"	158.84	N05° 08' 12"W
C28	171.25	1770.00	005°32'36"	171.18	N10° 28' 49"W
C29	10.39	1770.00	000°20'11"	10.39	N13° 25' 12"W
C30	32.68	280.00	006°41'15"	32.66	N10° 14' 40"W
C31	192.36	280.00	039°21'45"	188.60	N12° 46' 50"E
C32	90.96	280.00	018°36'43"	90.56	N41° 46' 04"E
C33	130.02	280.00	026°36'23"	128.86	N64° 22' 37"E
C34	97.87	280.00	020°01'39"	97.38	N87° 41' 38"E
C35	82.89	270.00	017°35'24"	82.57	N07° 47' 45"E
C36	39.70	1830.00	001°14'35"	39.70	N15° 58' 09"E
C37	177.66	1830.00	005°33'45"	177.59	N12° 33' 59"E
C38	196.33	1830.00	006°08'49"	196.24	N06° 42' 42"E
C39	206.91	1830.00	006°28'42"	206.80	N00° 23' 57"E
C40	203.06	1830.00	006°21'28"	202.96	N06° 01' 08"W
C41	140.23	1830.00	004°23'26"	140.20	N11° 23' 35"W
C42	128.98	220.00	033°35'24"	127.14	N03° 12' 24"E
C43	298.37	220.00	077°42'21"	276.02	N58° 51' 17"E

Justin M. Steffler, P.L.S. 14227

 Date _____

SHEET 3 OF 4

1/4	SEC	T	R
	2	4N	45E

TITLE	PRELIMINARY PLAT WILDFLOWER SUBDIVISION
DATE:	01/02/23
DRAWN/CHK BY:	PS/JS
PROJECT:	20459/T4NR45E/S2/20459
 BADGER AERIAL MAPPING & SURVEYING	
4141 S 58 W IDAHO FALLS, ID 83402 208-715-4380	

WILDFLOWER SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 45 EAST, B.M., TETON COUNTY, IDAHO

BOUNDARY DESCRIPTION

COMMENCING at the South 1/4 corner of Section 2, Township 4 North, Range 45 East, Boise Meridian, Teton County, Idaho; Thence, N 89° 53' 10" E along the south boundary of said Section 2 for a distance of 176.79 feet to the TRUE POINT OF BEGINNING; Thence, N 00° 34' 47" W for a distance of 2645.16 feet; Thence, N 89° 53' 17" E for a distance of 1132.57 feet; Thence, S 00° 59' 58" E for a distance of 1322.69 feet; Thence, S 00° 59' 59" E for a distance of 662.67 feet; Thence, S 89° 53' 13" W for a distance of 330.00 feet; Thence, S 00° 59' 57" E for a distance of 659.99 feet; Thence, S 89° 53' 10" W for a distance of 821.96 feet to the TRUE POINT OF BEGINNING.

SURVEY NARRATIVE

1. The purpose of this survey is to plat the described property for development.
2. Reference is made to Record of Surveys Instrument Nos. 235968, 172248, 201393, 255625, 261734 & 263456, Plat Instrument Nos. 115452, 167979, 185571 & 198125, and CP&FR Instrument Nos. 103717, 103718, and 136170.

FLOOD PLAIN DESIGNATION

The property shown hereon is located within Flood Zone Designation X (Outside of the 500-Year Flood Plain), per Flood Rate Map number 16081C0150C, dated August 4, 1988.

DEVELOPMENT ZONING

Mixed agricultural/rural residential

NOTES

Property will be developed as a Rural Reserve PUD. Lot 26 will be open space, maintaining a minimum of 50% open space over the entire development.
See 8-4-4 Table 2 Title 8 Teton County Zoning Ordinance for additional setbacks.
The proposed subdivision will not affect the distribution of water rights over and across the lands contained within or adjacent to this subdivision.
Any existing water rights shall be utilized on site and a water distribution plan shall be filed with the State of Idaho accordingly.
Lots will be served by individual well and septic systems.
Internal roads are designated as private. no public maintenance required.

SURVEYOR'S CERTIFICATE

I, Justin M. Steffler, a licensed professional land surveyor in the State of Idaho, do hereby certify that the survey of this subdivision, designated as WILDFLOWER SUBDIVISION, was made under my direction, and that said subdivision is truly and correctly surveyed and staked as provided by law and in accordance with the accompanying plat as described hereon.



Justin M. Steffler, P.L.S. 14222


MINIMUM SETBACKS	
Description	Setback Amount
Front Yard	30'
Rear Yard	40'
Side Yard	30'
Teton River	100'
Stream or Creek	50'
Irrigation Ditch or Canal	15'

SUBDIVISION DATA

TOTAL ACREAGE: 64.361 ACRES
 NUMBER OF LOTS: 26
 SMALLEST LOT SIZE: 1.250 ACRES
 LARGEST LOT SIZE: 32.184 ACRES
 AVERAGE LOT SIZE: 2.475 ACRES
 LOT DENSITY: .404 LOTS/ACRE

SHEET 4 OF 4

1/4	SEC	T	R
X	2	4N	45E

TITLE	PRELIMINARY PLAT WILDFLOWER SUBDIVISION
DATE: 01/02/23	DRAWN/CHK BY: PS/JS
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