

Bruce DeRize

2024

Rolling Stone Acres
Preliminary Plat Application Supplement



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5/30/2024

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Rolling Stone Acres

Application for Preliminary Plat Supplementary Information

INTRODUCTION

Rolling Stone Acres is a proposed residential subdivision situated roughly three miles north of the City of Victor and approximately one mile east of Hwy. 33 in Teton County, Idaho. The current property encompasses a single parcel spanning 10.21 acres. The proposed development comprises four residential lots, each with a minimum lot size of 2.5 acres. The property is currently zoned as A/RR-2.5 under the 2012 zoning ordinances, which govern the development regulations for this property. The A/RR-2.5 zone provisions permit the development of four residential lots. The surrounding vicinity includes Swee Home Ranches Subdivision, characterized by predominantly 2.5-acre lot sizes, as well as Pinnacle Subdivision with lot sizes ranging from 2.5 to 2.94 acres, and the adjacent Bertin Ranch and Barrell Roll Ranch.

PROJECT COMPONENTS

Access & Circulation

The development will be accessed via S 500 East which is west of the property. Lots within the subdivision will be served by a new road internal to the development providing access to each lot. All roads within the subdivision will be constructed to Teton County standards for road construction for local roads with the anticipation that roads will be dedicated to the County.

Setbacks & Building Envelopes

In all cases, building setbacks will comply with the minimum setbacks required by Teton County. Building envelopes, which often exceed the minimum setback requirements, are being contemplated in the subdivision covenants, conditions, and restrictions (CCR) which may further limit the location of future buildings for the purpose of preserving views for each lot.

Open Space and Density

There is no requirement for open space in the A/RR-2.5 zoning district.

Domestic Water

Domestic water will be provided by individual wells on each lot. Installation, maintenance, and permitting of domestic wells will be the responsibility of individual lot owners.

Wastewater

Wastewater treatment will be provided by individual subsurface wastewater disposal systems, one for each buildable lot.

Stormwater

During initial construction appropriate erosion control measures and best practices will be used to minimize erosion and pollution. The proposed development maintains the natural drainage patterns of the site to the maximum extent practicable. A Stormwater Management Plan for the roadway has been prepared and is incorporated into the Grading & Drainage Plan included in the engineering improvement drawings. Individual lot owners will be responsible for grading and drainage on their own lots including stormwater retention.

Fire Protection

The proposed fire suppression system consists of a fire pond with dry hydrant. The fire suppression system approved by the Teton County Fire Marshal for the Rolling Stone Acres development is a fire pond with dry hydrant meeting the requirements of the Teton County Fire District.

Overlay Zones

The property does not fall within any overlay zones. Under the 2012 Land Development Code, the site does not feature any natural resource overlays such as a big game migration corridor. No critical habitat areas are known or mapped on the subject site. There is no surface water on the site.

Geophysical Hazards

- There are no FEMA Special Flood Hazard Areas (SFHA) mapped on the site.
- There is no surface water on the site.
- The site is mapped as “Class 1: Low Liquefaction Susceptibility”, the lowest risk of three categories relating to earthquake hazard.

SECTION I: PERSONAL AND PROPERTY RELATED DATA

Parcel Number: RP04N45E247802

Acres: 10.21

Legal Description: NW ¼ SE ¼, SEC 24 T4N R45E, B.M.

County Zoning: A/RR-2.5 Agriculture / Rural Residential, 2.5-acre min. lot size

Approved Subdivision Name: Rolling Stone Acres

Approved Road Name: DeRize Lane

Access Roads: S 500 E

Zoning Overlays: None

Resource Overlays: None **Floodzone:** No **Airport Overlay:** No **Hazard Area:** No

Migratory Area: No **Adjacent to Public Lands:** No **FEMA Zones:** None

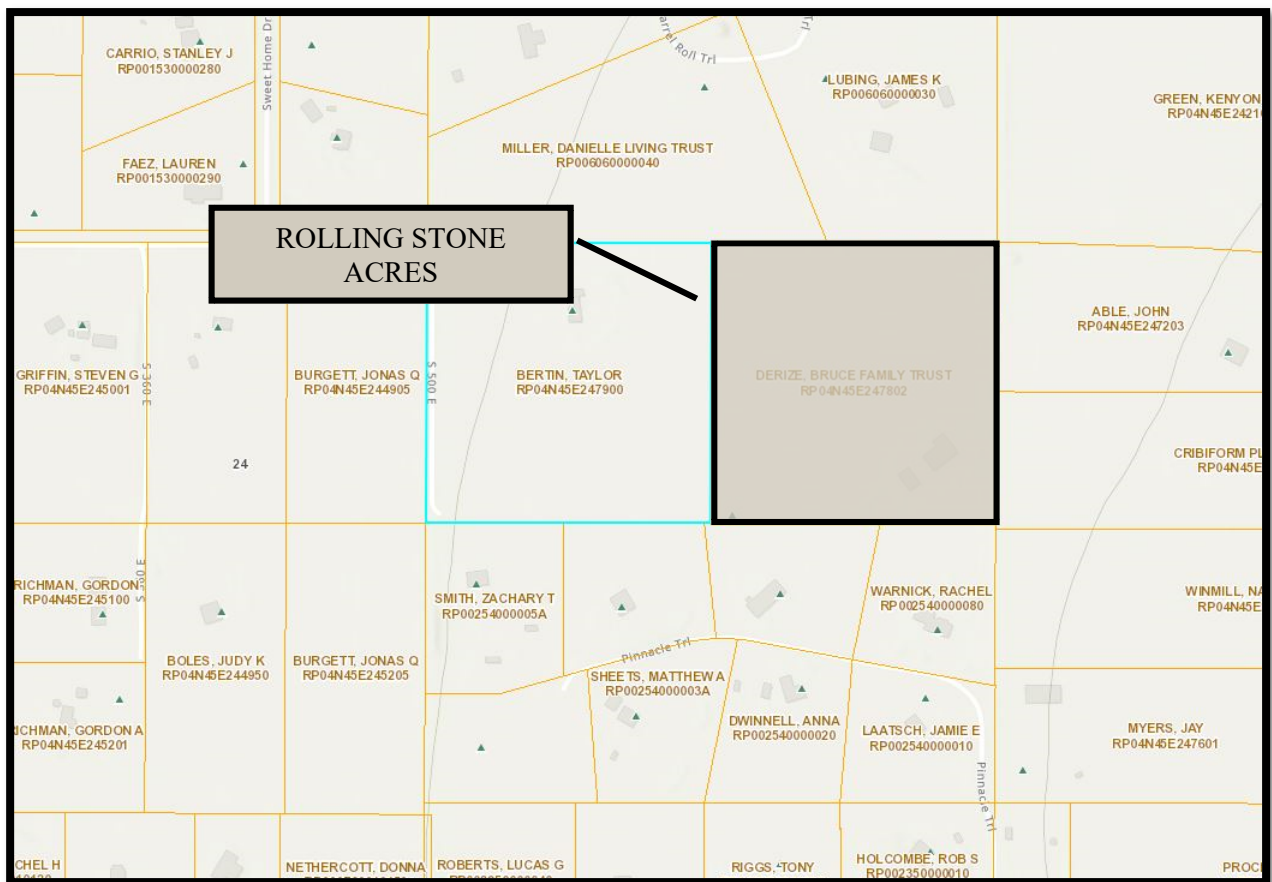


Figure 1: Vicinity Map for Rolling Stone Acres.

Latest recorded deed to the property

See appendix.

10% of total base fee (see current fee schedule)

Fees enclosed.

Minimum retainer for Nutrient Pathogen evaluation review, as applicable.

A Nutrient Pathogen evaluation is required by Teton County for any proposed development using on-site wastewater treatment systems or central septic systems when one or more of the following five conditions exist.

1. The proposed development that lies wholly or partially within the WW Wetland and Waterways Overlay Area (Section 8-5-1-D of Title 8);
2. There is evidence that ground water, at some time of the year, comes within ten feet of the ground's surface at any location on the proposed development parcel;
3. There is evidence that soil depth to fractured bedrock is ten feet or less anywhere on the proposed development;
4. The development application includes a food service, a commercial facility, or an industrial facility generating 600 gallons or more of wastewater per day;
5. The proposed development is within an area where the concentration of nitrate-nitrogen in ground water is five (5) mg/L or higher.

None of the five elements listed above are known to exist on the proposed development.

Affidavit of Legal Interest

The deed establishes the legal interest. See Appendix.

Concept Plan approved

The Concept Plan was considered complete and approved by Teton County Planning & Zoning staff on July 26, 2022

SECTION II – CHECKLIST OF ITEMS REQUIRED ON THE PLAN/PLAT DOCUMENT

1. Number of Plans/Plats

- a. **Two (2) Preliminary Plats (18” x 27” or 11” x 17”) prepared by a professional land surveyor/engineer**

Teton View Surveying, a professional land surveyor in the State of Idaho, prepared a survey Preliminary Plat.

- b. **Two (2) Master Plans (18” x 27” or 11” x 17”) prepared by a professional land surveyor/engineer**

Civilize, PLLC, a professional engineer licensed in the State of Idaho, prepared engineering improvement drawings including a master plan drawing.

2. Items on Plan/Plat

- a. **Plans and plats are labeled in lower right-hand corner**

Provided as required.

- b. **Section(s), Township, Range**

Provided as required.

- c. **Accurate angular and lineal dimensions for all lines, angles and curves used to describe boundaries, streets, alleys, and easements areas to be dedicated for public use, and other important features are shown.**

Provided as required.

- d. **Identification for all lots and blocks and road names are clearly shown. Lot lines show dimensions in feet and hundreds.**

Blocks and lots depicted along with road names and dimensions in feet and hundredths.

- e. **Perimeter subdivision lines are accurately related by distance and bearings to established roads or street lines, or 1/16 section corners, and closures are a minimum of one (1) foot in 5000 feet.**

Perimeter subdivision lines related by distance and bearings to established roads or street lines, or by section corners.

f. True angles and distances to the nearest established street lines or official monuments are accurately described in the plat and shown by appropriate symbol.

True angles and distances are accurately described.

g. Radii, internal angles, points and curvatures, tangents, tangent bearings, chord, chord bearings and the lengths of all arcs are shown.

Radii, internal angles, points and curvatures, tangents, tangent bearings, chord, chord bearings and the lengths of all arcs are shown.

h. Accurate location of all monuments and fire protection to be installed, shown by appropriate symbol, and all of the U.S., State, County, or other official benchmarks, monuments, or triangulation stations in or adjacent to the property.

Accurate location of all monuments and fire protection to be installed, shown by appropriate symbol along with U.S., State, County, or other official benchmarks, monuments, or triangulation stations in or adjacent to the property.

i. Each lot corner is monumented or witnessed with permanent marker, in accordance with the rules and regulations of the State Board of Registration for professional engineers and land surveyors, and the markers are shown either by legend or separate description on the plat.

Each lot corner will be monumented upon recordation of the Final Plat in accordance with Idaho Statute.

j. Accurate boundaries and legal descriptions are given of any easement or area to be dedicated for public use, with the purpose indicated thereon, and of any area to be reserved by deed or covenant for the common use of all property owners or the general public.

Accurate boundaries and legal descriptions are given for easements and areas to be dedicated for public use, with the purpose indicated thereon.

k. Vicinity map with any existing subdivisions within 1 mile and all existing road names

Vicinity map provided along with existing subdivisions and existing road names.

l. Names of adjoining developments and ownership of surrounding land

Names of adjoining developments and property ownership provided.

m. North arrow

North arrow provided.

n. Contours

Contours provided.

o. Section and incorporation lines in and within 200 feet

Section and incorporation lines provided in and within 200 feet.

p. Boundaries and identification of zoning districts

Zoning districts and boundaries identified.

q. Building envelopes

Building envelopes are defined with setback requirements established by the jurisdiction.

r. Setback requirements

Setbacks from the jurisdiction are depicted.

s. Road names

Road names are provided.

t. Accurate scale

An accurate scale is provided presuming the drawing is printed at the correct scale.

3. Utilities

a. Statement in bold letters of proposed water, wastewater, and maintenance services

Note indicated lots will be served by individual wells and septic systems are provided on the plat.

b. Location, width, and information of utility right(s)-of-way and easement(s) (telephone, power, water, sewer irrigation)

Location and width of utility right(s)-of-way and easement(s) for utilities shown.

c. Location and approximate depth of active and abandoned wells and all reservoirs in and within 100 feet

A well is located on the property. The depth is shown as 284' and was drilled in 2001. The well drillers log is available in the appendix.

d. Location and sizes of sewers, water mains, culverts, underground facilities in and within 100 feet

No sewer, water mains, culverts or underground facilities are known to exist within 100 feet of the proposed subdivision.

4. Improvement standards:

a. Curbs and gutter, if any

No curb & gutter proposed.

b. Trails and pathways - Title 9 Section C-2

The project does not include internal trails.

c. Public Utilities

The subdivision does not use public utilities for water and sewer.

d. Water supply and sewage disposal

Water supply is by individual well for each lot as a domestic exemption.

Sewage disposal is proposed via individual subsurface wastewater dispersal system.

e. Maintenance and operation of public water and sewer, if any

There is no public water or sewer proposed.

f. Fire protection (pond, well, hydrants. etc.)

Fire suppression is required. The development proposes a fire pond equipped with a dry hydrant per the requirements of the Teton County Fire District.

g. Street lighting, if any

No street lighting was proposed.

h. Public land access

No public land adjoins the property; therefore, this provision is not applicable.

SECTION III: CHECKLIST OF ITEMS REQUIRED IN DEVELOPMENT AGREEMENT AND PROTECTIVE COVENANTS

1. Development Agreement

A copy of a draft development agreement prepared using the template provided by Teton County is found in the appendix. All dates and terms will need updated following approval of the Final Plat.

- Estimated date the subdivision will be completed..... Estimated
- The date actual construction will begin..... Estimated
- The date public improvements will be completed and can be inspected..... Estimated
- Inspection of public improvements under construction Included
- Control during development..... Included
- The developer shall control dust while installing infrastructure Included
- A registered professional engineer’s stamped estimate of costs for all improvements Included
- Any other conditions agreed to..... Included
- Irrevocable bank Letter of Credit (Letter of Intent from financial institution)..... Statement
- Reduction and release of guarantee..... Included
- Guarantee of completion of improvements Included
- Penalty in case of failure to complete construction of a public improvement..... Included
- Lots shall not be sold and recorded until final plat recording Included
- No building permits may be issued until the fire protection, including roads, are operational.. Included
- No Certificates of Occupancy will be issued until public improvements are complete Included
- The developer shall provide a stamped letter from the engineer stating the roads have been built in accordance with the submitted road plans and are up to county standards Included
- Subdivision entrance sign and street signs Included

2. Protective Covenants (CC & Rs)

A copy of the draft Covenants Conditions & Restrictions is found in the appendix.

- Homeowners Association..... Included
- Right to Farm provision Included
- County setbacks and height restrictions Included
- Architectural style and building design..... Included
- Maintenance of landscaping Included
- Screening..... Not Included
- Garbage areas Included
- Private road..... On Plat
- Storage areas..... Included
- Maintenance building Included
- No further divisions of lots..... Not Included
- Low wattage lighting downward directed Included
- Weed control Included
- Sanitary rules/regulations Included
- Mention that the following items cannot be changed by the HOA: Included

- Weed maintenance and control
- Teton County dark skies requirements
- No further lot split statement
- County setback and heights
- Right to Farm Act
- The EIPHD has authority over the HOA

3. In case of a PUD

Open Space use type

The open space is planned as agricultural.

Deeding or dedication of Open Space.

The open space will be owned by the property owner.

Open Space Management Plan

Management of agricultural land

The management of the agricultural land will be through a lease arrangement by the property owner.

Management of recreation facilities

The development does not propose any recreation facilities.

Management of existing and created natural lands

No natural lands are planned for this development.

SECTION IV: DESIGN AND IMPROVEMENT STANDARDS

1. Design standards:

a. Dedication of street public-private

DeRize Lane is proposed as a private street unless the County is willing to accept it, which to date has not been the practice for the County.

b. Street and road locations

Street and road locations are shown on the engineering improvement drawings.

c. Intersections

Intersections are shown on the engineering improvement drawings.

d. Easements and rights-of-way and dedicated entity

Easements and rights-of-way are depicted on the preliminary plat as well as the engineering improvement drawings.

e. Irrigation easements - Title 8 Section 8-4-4

There are no irrigation easements on the property. The property is located in the Fox Creek Canal Co. District.

f. Blocks are clearly defined on the master plat

There is a single block.

g. Lots

Lots numbers and sizes are shown on the master plan.

h. Planting strips and reserve strips

There are no planting strips or reserve strips proposed or required for the project.

i. Landscaping Plan - Title 9 Section C-3-A

A landscaping plan is provided in the engineering improvement drawings.

j. Access to public roads/buildings

Access to public roads is onto S 500 East.

2. Maps/Studies/Plans:

a. Map access routes to public lands/waterways - Title 9 Section C-2-a

No public land or waterways pass through or are adjacent to the any portion of the land.

b. Overlay Areas mapped - Title 9 Section C-2-b

Airport Vicinity Overlay (Title 8)

The project is not within the Airport Vicinity Overlay.

Floodplain Overlay (Title 8)

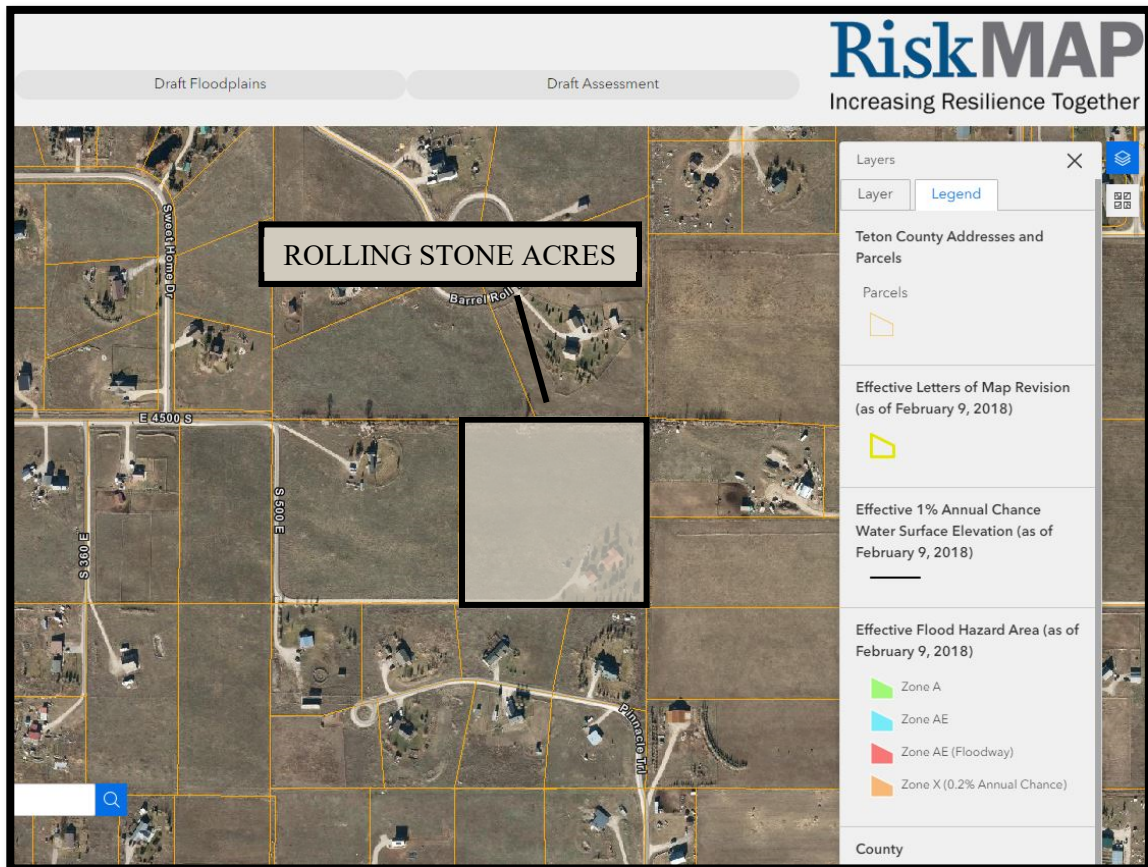


Figure 2: Flood Hazard Mapping from Teton County GIS System (2023).

The project is not within the Floodplain Overlay

Hillside Overlay (Title 8 and Title 9)

The ground slope on the property is less than 10%.



Figure 3: Slope Percent from Teton County GIS System (2023).

Scenic Corridor Overlay (Title 8)

The property is not within the Scenic Corridor Overlay.

Wildlife Habitat Overlay (Title 8 and Title 9)

Big Game Migration Corridor

The property does not lie in the big game migration corridor.

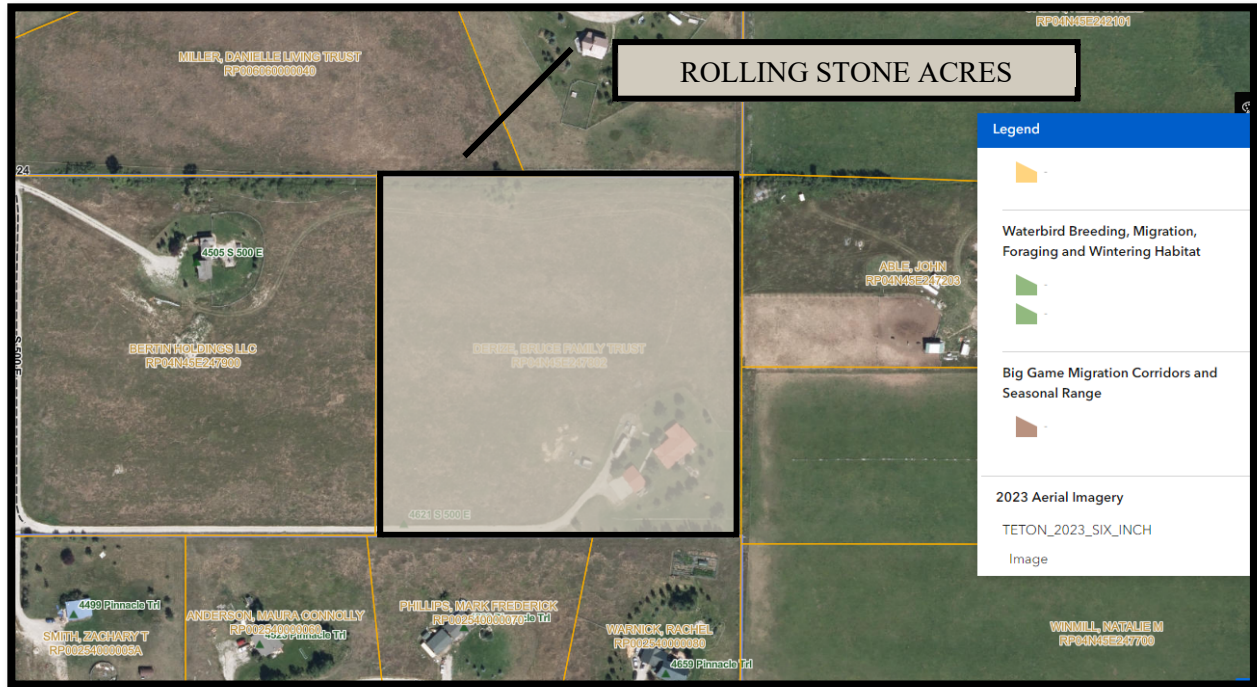


Figure 4: Wetland, Migration Path, and Feeding or Breeding Area Mapping from Teton County GIS (2023).

Wetlands and Waterways Overlay

The project is not in the Wetlands and Waterways Overlay.

Wetlands Determination, as required - Title 8 Section 8-5-2

None of the proposed development lies within a wetland.

c. Scenic Corridor, as required - Title 8 Section 8-5-2

The property is not within the Scenic Corridor Overlay.

d. Nutrient-Pathogen Study, as required - Title 9 Section C-3-B

District 7 of the Eastern Idaho Public Health evaluated the soils with three exploration pits and determined the soils were suitable for subsurface wastewater dispersal systems and did not indicate any requirement for a Nutrient-Pathogen study. The application soil type of B1 was indicated.

e. Flood Hazard areas, as required - Title 8 Section 8-5-2

None of the property lies within a floodplain according to the Floodplain Overlay map.

f. Geographical Hazards, if any

No extraordinary geographic hazards are known to be associated with the property. There are no FEMA Special Flood Hazard Areas (SFHA) mapped on the site. There is no surface water on the site. The site is mapped as “Class 1: Low Liquefaction Susceptibility”, the lowest risk of three categories relating to earthquake hazard.

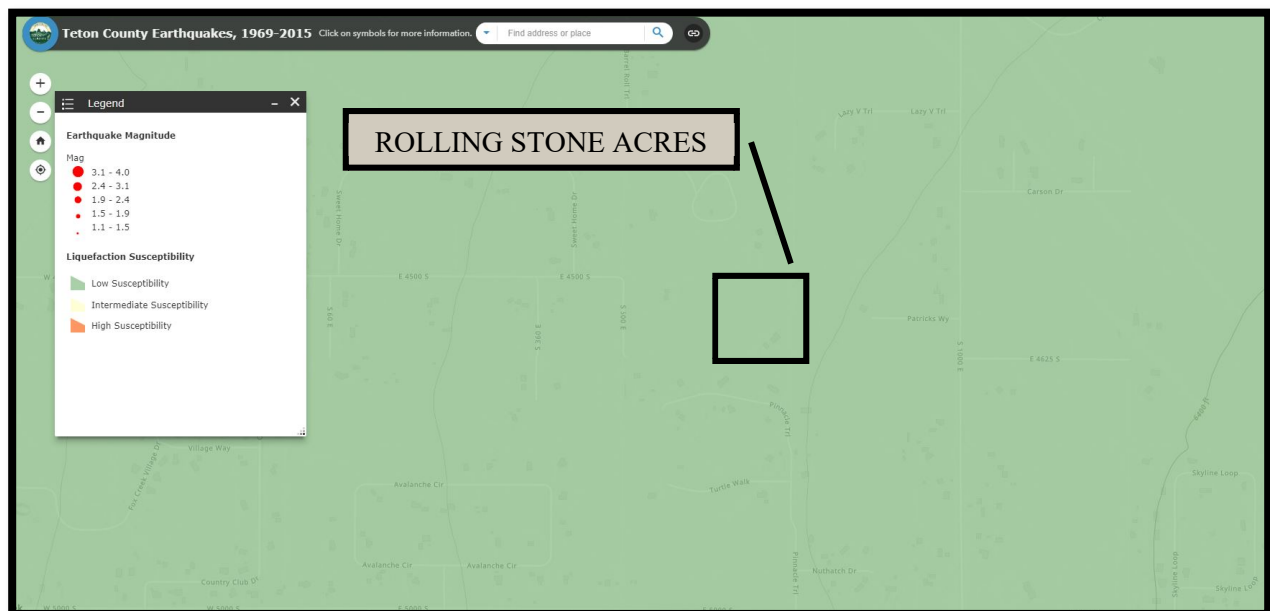


Figure 5: Seismic Susceptibility per Teton County GIS (2023)

Sight Line Analysis - Title 9 Section 4-B

The project is not a PUD and is not located near State highway or Skill Hill Road.

g. Natural Resource Analysis - Title 9 Section C-2-b

The proposed subdivision does not contain lands included in the Natural Resources Overlay including the Wildlife Habitat Overlay. Therefore, a Natural Resource Analysis is not required nor does it appear that any of the other elements identified in the Teton County Title 9, Section C-2-b are applicable.

Existing Conditions Inventory

Floodplains, Wetlands, and riparian areas

Other sections of this document establish that the property is not encumbered with floodplains or wetlands.

Geological or Seismic Hazards

Other sections of this document establish that the property is not encumbered by geologic hazards.

Wildfire Danger

The property does not fall within a high hazard rating according to the Teton County Wildfire Mitigation Plan.

Existing vegetation Communities

The properties' existing vegetation is natural.

Ridges and Rock Outcroppings

The property does not include any significant rock outcroppings.

Location within One Mile of Ski Hill Road or any State Highway

The property is not within one mile of Highway 33 or Ski Hill Road.

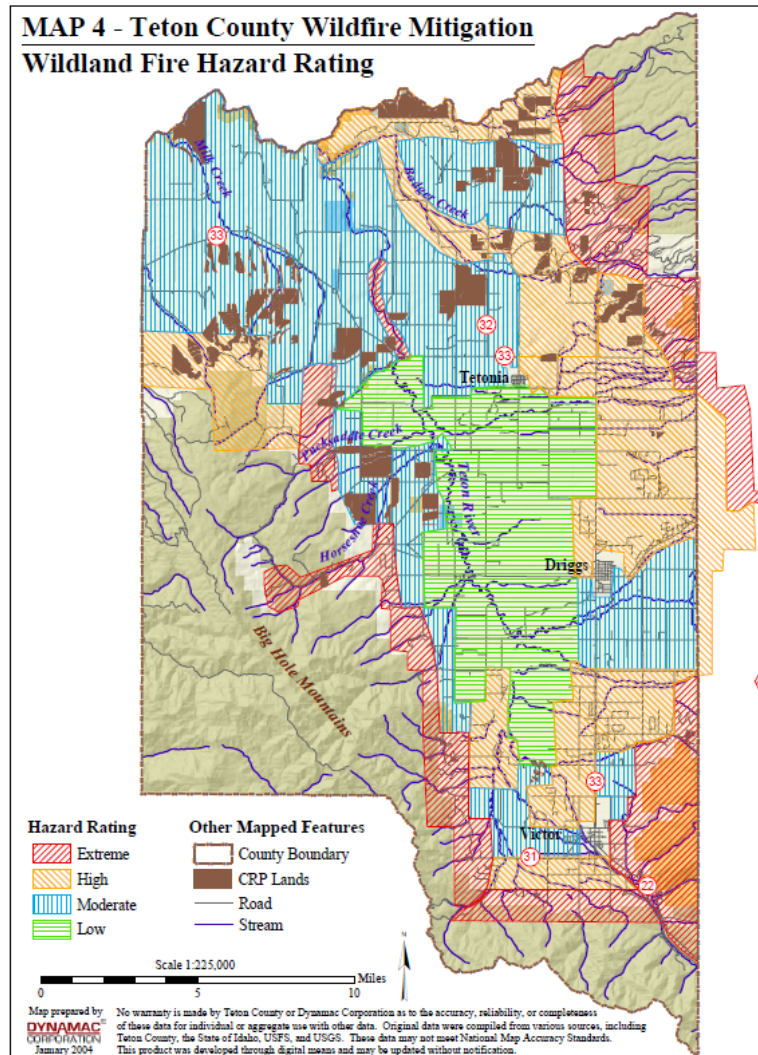


Figure 6: Teton County Wildfire Mitigation Plan, Wildland Fire Hazard Rating (April 2004)

h. Wildlife Habitat Assessment, as required - Title 9 Section C-2-c

The proposed subdivision does not contain any lands included in the Wildlife Habitat Overlay; therefore, a Wildlife Habitat Assessment is not required.

i. Hillside Assessment, as required - Title 9 Section C-2-c

None of the property falls within the Hillside Overlay. Therefore, no restrictions related to ground slope are applicable.

Contour Plan

The Contour Plan is provided in the Engineering Improvement drawing package.

Grading Plan

The Grading Plan is provided in the Engineering Improvement drawing package. Grading is applicable to the road prism only as individual lot owners will determine the grading on specific lots.

Soils Report

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Soils Report may not be necessary.

Slope Stabilization Plan

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Slope Stabilization Plan may not be necessary.

Revegetation Plan

The project does not contemplate building envelopes that include ground with a slope greater than 20%, therefore, a Revegetation Plan may not be necessary.

Building Envelopes

Building envelopes are not specifically planned but may be considered to preserve views for potential lot owners.

j. Public Services/Fiscal Impact Analysis (twenty lots or more) - Title 9 Section C-4-A

The proposed development contains 4 buildable lots. A Public Services/Fiscal Impact Analysis is not required.

k. Traffic Impact Study (ten lots or more) - Title 9 Section C-3-D

The proposed development contains 4 buildable lots. A Traffic Impact Study is not required.

l. Natural Resources Impact Mitigation Plan, as required - Title 9 Section C-2-c

The project does not include any natural resource overlays, therefore, a Natural Resource Impact Mitigation Plan is not required.

m. Open Space Management Plan, as required - Title 9 Section C-2-c

The project does not require open space therefore an Open Space Management Plan is not required.

n. Facilities Map includes existing structures

The engineering improvement drawings include a Master Plan, Hardscape Plan, and Grading & Drainage Plan. There are existing structures on the property located on the engineer improvement drawings.

o. Written determination signed by a qualified professional that the above condition(s), as applicable, do not exist on the property

The responses to the above questions as determined from publicly available information, including the mapping prepared by Teton County, represent the professional opinion of the Engineer.

3. Other Land Use Applications, as needed:

a. Scenic Corridor - Title 8 Section 8-5-2

The proposed development does not include land within the scenic corridor.

b. Zone Change - Title 8 Section 8-3-6

The Applicant is not proposing any zone change in association with the proposed development.

c. Conditional Use Permit - Title 8 Section 8-6-1

The Applicant is not proposing any use at this time that would require a Conditional Use Permit.

d. Variance - Title 8 Section 8-8-1

The Applicant is not proposing any variances in association with the proposed development.

e. Other: _____.

Not applicable.

SECTION V: CHECKLIST OF REQUIRED ITEMS/INTERAGENCY COORDINATION

1. Correspondence Required:

a. Financial “Letter of Intent”

A financial “Letter of Intent” is provided in the appendix.

b. Letters of Preliminary Approval:

Fire Marshal

The development contains 4 buildable residential lots. A fire suppression system is required. The Fire Marshal was provided with the preliminary engineering drawings and has provided correspondence indicating the requirements for fire suppression.

DEQ, if applicable

Because there are no public water or sewer systems proposed, there is no requirement from DEQ to review and comment on the proposed development.

Irrigation District/Canal Company

The proposed development does have an irrigation ditch on the northern property boundary. A prescriptive easement would be present along the northern property boundary. The property falls within the Fox Creek Canal Co.

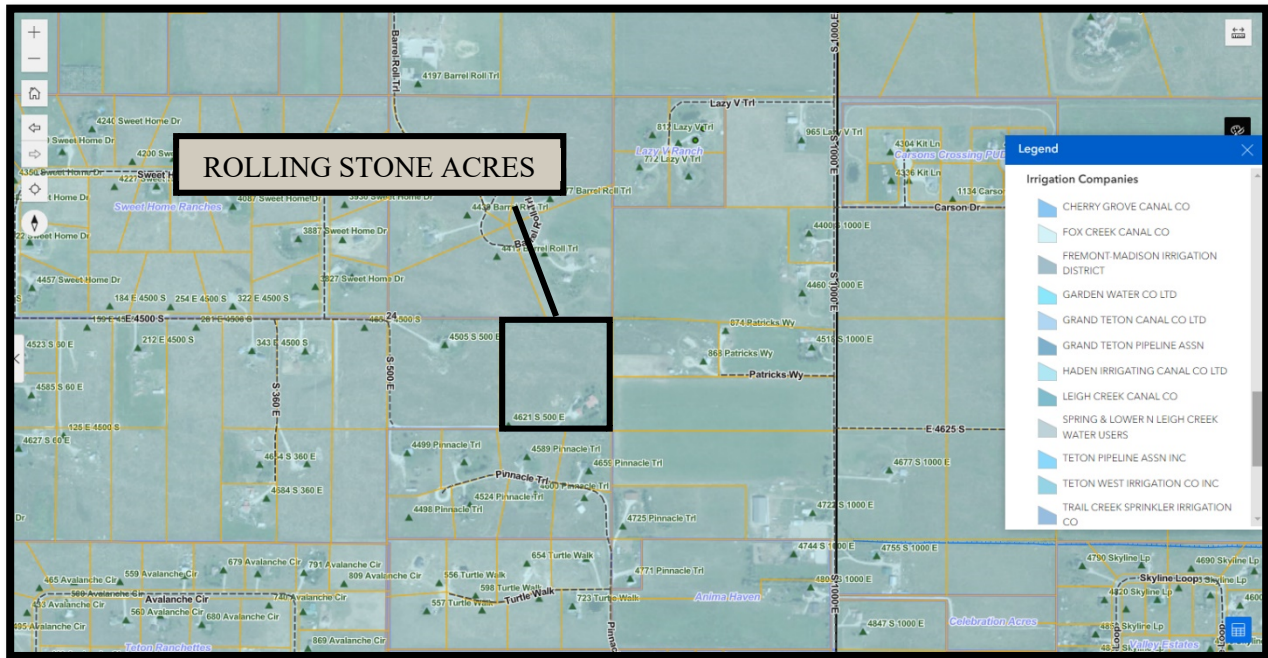


Figure 7: Hydrography and Irrigation per the Teton County GIS Mapping System (2023).

Idaho Public Health Department:

District 7 of the Idaho Public Health Department has conducted soil testing on the property and indicated its suitability for the installation of subsurface wastewater dispersal systems. The project has been submitted to them for review and comment.

Property not requiring DEQ approval

The project does not require DEQ approval. A letter from the Idaho Public Health Department is provided in the appendix.

Property with DEQ involvement or unique concerns identified by Public Health Department

The property does not require DEQ approval.

“Will Serve Letter” from the City, if applicable

The City is not providing utility services, therefore a “will serve letter” is not applicable.

2. Infrastructure Improvement Plans:

Two (2) copies of preliminary infrastructure improvement plans:

a. Fire Suppression

The development contains 4 buildable residential lots. A fire pond is proposed as the mechanism for fire suppression system.

b. Water System, if any

There is no public water system.

c. Sewer System, if any

There is no public sewer system.

d. Storm and Erosion Plan

A Grading and Drainage Plan is provided in the engineering improvement drawings with calculations for stormwater runoff for the 100-Year, 24-Hour storm event from the road ROW.

e. Landscaping Plan

A Landscaping Plan is applicable to each individual lot.

3. Roads:

a. Road Access Permit (Road and Bridge Department)

Access to the development is from a roadway owned by Teton County. Continued access is anticipated on the same road currently being used.

b. Intent for County Road Improvements (Board of County Commissioners)

The Applicant has no intent for the County regarding road improvements.

c. Description to assure adequate funds for maintenance of roads within the development

The roads within the subdivision will be maintained by the HOA as described in the CC & Rs.

d. Two (2) copies of preliminary road plans prepared by a registered Idaho Civil Engineer including at a minimum the following:

Pavement/gravel design including necessary cross sections

The street layout complies with the County standards for a local road consistent with an ADT less than 150 vehicles per day. The proposed ROW is 50' and the proposed road width is 22 feet with one nine-foot travel lane in each direction and a two-foot shoulder on each side of the road.

The rural local road system, in comparison to collectors and arterial systems, primarily provides access to land adjacent to the collector network and serves travel over relatively short distances. The local road system constitutes all rural roads not classified as principal arterials, minor arterials, or collector roads." Local roads typically serve 65-75% of the total rural road length in a given county. (AASHTO, 2004).

Local roads as defined in Figure 2 generally have an ADT of less than 150 vehicles per day, although many exceed this value. The design standard for local roads in Teton County, Idaho is outlined in Table 7 below, while the cross-section may be viewed in Figure 7.

Lane Width (ft)	Shoulder Width (ft)	Road Width (ft)	ADT (veh/day)	Speed Limit (mph)
9	2	22	<150	25-35

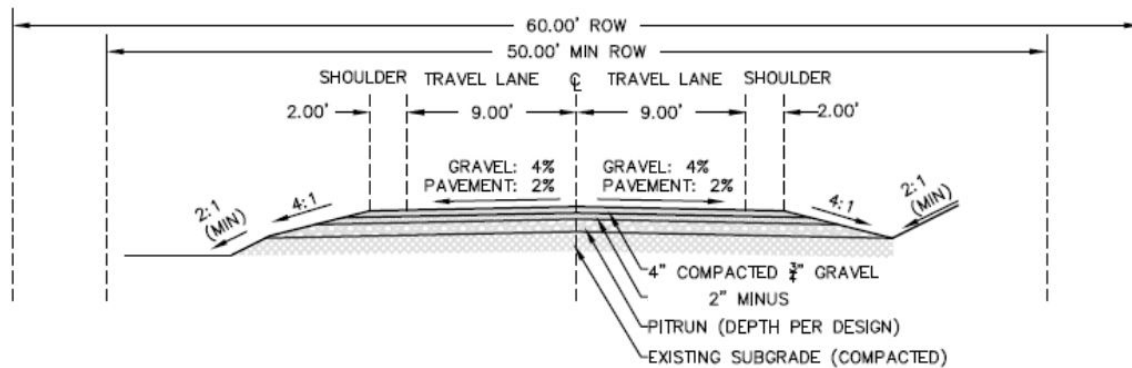


Figure 8: Minor Collector Cross Section for Teton County, Idaho.

Road will be constructed at a minimum of eight (8) ft. from the edge of the roadway easement to the nearest edge of traveled way

The design is compliant.

Cross-section of pavement and turn around

Cross-sections provided along with plans for turnarounds in the engineering improvement drawings.

Cut and fill cross section sheets indicating sections spaced in consideration of gradient of the road

Cut and fill cross sections are not provided.

Plan and Profile and typical cross sections of roads and turn-arounds, Plan and Profile should be based at a minimum in consideration of gradient of the road

Plan & Profile sheets are provided.

Road system for un-platted portions of the property

All of the property is platted.

Easements dedicated to the public/Arterial and Collector roads are platted to appropriate separate entities

The County has indicated they will not be accepting the road. Therefore, there are no easements dedicated to the public.

Mailboxes and pullouts

Mailboxes are planned for a common area near the front of the development.

Fire pullouts

A pullout is provided near the fire pond.

Bridges preliminary design

There are no bridges in the project.

(See Teton County Highway and Street Guidelines for road specifications for further information.)

Acknowledged.

4. Water Rights:

a. Evidence that development will not interfere with existing agriculture water rights and access for maintenance.

An irrigation canal runs the northern border of the proposed development. The current proposed development would not alter access to the canal for maintenance or interfere with existing agricultural water rights.

APPENDIX A

Most Recent Deed

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Concept Approval

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Draft Development Agreement

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Road Maintenance Agreement

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Engineering Improvement Drawings for Preliminary Plat